

# BWYTHYN FERRYMAN, PORTHAETHWY / FERRYMAN'S COTTAGE, MENAI BRIDGE

Lliniaru Archeolegol /Archaeological Mitigation  
Cofnodi Adeiladu/Building Recording



Ymddiriedolaeth Archeolegol Gwynedd  
Gwynedd Archaeological Trust

# BWYTHYN FERRYMAN, PORTHAETHWY / FERRYMAN'S COTTAGE, MENAI BRIDGE

## Lliniaru Archeolegol /Archaeological Mitigation

Yr Amgylchedd Hanesyddol yn Cofnodi Prif Gyfeirnod /  
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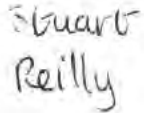
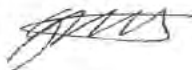

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# CONTENTS

CONTENTS .....	2
FIGURES.....	3
PLATES.....	4
CRYNHODEB ANHECHNEGOL.....	6
NON-TECHNICAL SUMMARY .....	6
1 INTRODUCTION.....	7
1.1 Aims and Objectives .....	9
2 HISTORIC BACKGROUND.....	10
3 METHODOLOGY .....	12
3.1 Building Recording.....	12
3.1.1 Photographic Record.....	12
3.1.2 Written Record .....	13
3.1.3 Drawing Record.....	13
3.2 Watching Brief .....	14
4 RESULTS.....	15
4.1 Introduction.....	15
4.1 Level 2/3 Record.....	15
4.1.1 Exterior.....	15
4.1.2 Interior.....	16
4.2 Watching Brief .....	18
4.2.1 Exterior.....	18
4.2.2 Interior.....	19
5 CONCLUSION .....	20
6 SOURCES CONSULTED.....	21
Appendix I.....	22
Appendix II.....	23



## Figures

Figure 01: Reproduction of Russell-Hughes Cyf Drawing No. 2539-17-1: Location Plan. Scale 1:250@A4.

Figure 02: Reproduction of Russell-Hughes Cyf Drawing No. 2539-17-2: Existing Site Plan. Scale 1:200@A3.

Figure 03: Reproduction of Russell-Hughes Cyf Drawing No. 2539-17-3a: Proposed Site Plan. Scale 1:200@A3.

Figure 04: Reproduction of Russell-Hughes Cyf Drawing No. 2539-17-4: Existing Plans. Scale 1:100@A1.

Figure 05: Reproduction of Russell-Hughes Cyf Drawing No. 2539'17'9a: Existing and Proposed Sections. Scale 1:50@A1  
Figure 06: Reproduction of Ordnance Survey Second Edition 1-inch to 25-mile County Series Map Sheet XIX.11; published in 1900. Scale 1:1500 @ A4.

Figure 06: Reproduction of Ordnance Survey Second Edition 1-inch to 25-mile County Series Map Sheet XIX.11; published in 1900. Scale 1:1500 @ A4.

Figure 07: Photo location plan of Level 2/3 building recording. Scale 1:20@A3.

## Plates

Plate 01: Eastern elevation of Ferryman's Cottage; scale: 1x1m (archive reference: G2623\_004).

Plate 02: Oblique view eastern elevation; scale: 1x1m (archive reference: G2623\_002).

Plate 03: Access to rear narrow steps at north side of building; scale: 1x1m (archive reference G2623\_016).

Plate 04: North end of roof (external view); scale: 1x1m (archive reference G2623\_019).

Plate 05: Back garden of the cottage; scale 1x1m; (archive reference G2623\_026).

Plate 06: Oblique view of eastern & northern wall, front door, window and fireplace; scale: 1x1m (archive reference G2623\_018).

Plate 07: Ceiling and roof at south end and south wall; (archive reference: G2623\_020).

Plate 08: Ceiling above fireplace on north wall (archive reference: G2623\_021).

Plate 09: View of front door in eastern wall; scale: 1x1m (archive reference G2623\_016).

Plate 10: View of window in eastern wall; scale: 1x1m (archive reference G2623\_019).

Plate 11: Oblique view of east wall with shelves and front door; scale: 1x1m (archive reference: G2651\_016).

Plate 12: Fireplace set within northern wall; scale: not used (archive reference: G2651\_023).

Plate 13: Blocked window in western wall; scale 1x1m (archive reference G2623\_022).

Plate 14: Oblique view of rear garden after vegetation clearance; scale: 1x1m (archive reference G2623\_042).

Plate 15: View of stone wall at rear of garden; scale: 1x1m (archive reference: G2623\_040).

Plate 16: View of rear of the building after concrete was removed; scale: 1x1m (archive reference: G2623\_031).

Plate 17: View of steps to garden after concrete removed and ground level reduced; scale: 1x1m (archive reference: G2623\_036).

Plate 18: View to rear of cottage showing bedrock and soil beneath Cambria Road; scale not used (archive reference: G2623\_084).

Plate 19: Front door after steps removed; scale: not used (archive reference: G2623\_059).

Plate 20: Floor of cottage after removal of concrete; scale: 1x1m (archive reference: G2623\_078).

Plate 21: North wall of cottage - render removed to expose stone work; scale: 1x1m (archive reference: G2623\_065).

Plate 22: Opening at rear, western end of the cottage, for new doorway; scale: 1x1m (archive reference: G2623\_080).

## **CRYNHODEB ANHECHNEGOL**

Dirprwyodd Ymddiriedolaeth Archeolegol Gwynedd gan Mr. Brian Cain I ymgymryd lleddfiad archeolegol mewn blaenoriaeth o waith trawsnewid a gostyngiad arfaethedig yn fwthyn cychwr blaenorol ei leoli ym Mhorthaethwy, Ynys Môn. Roedd lleddfiad archeolegol mewn trefn ddau weithrediad, gyda chofnod adeilad lefel 2/3 ymlaen gwaith adnewyddiad a briff gwyllo drylwyr ei gynnal ystod tirwaith yn y bwthyn. Wnaeth y lleddfiad archeolegol cadarnhau roedd yn adeilad cyffredin roedd yn cadw dull rhan fwyaf o bwythyn chymeriad 19eg ganrif.

## **NON-TECHNICAL SUMMARY**

*Gwynedd Archaeological Trust was commissioned by Mr. Brian Cain to undertake archaeological mitigation in advance of proposed conversion and extension works at a former ferryman's cottage located in Menai Bridge, Ynys Môn. The archaeological mitigation was a two staged process with a Level 2/3 building recording being conducted in advance of the renovation work and an intensive archaeological watching brief was conducted during the groundworks at the cottage. The archaeological mitigation confirmed that it is a simple vernacular building which largely retained the style and character of a 19<sup>th</sup> century cottage.*

# 1 INTRODUCTION

Gwynedd Archaeological Trust (GAT) was commissioned by Mr. Brian Cain to undertake archaeological mitigation in advance of proposed conversion and extension works at a former ferryman's cottage located in Menai Bridge, Ynys Môn (NGR SH55747169; postcode: LL59 5DY; Figure 01). The proposals involved the restoration and refurbishment for residential use of an existing late 18<sup>th</sup>/early 19<sup>th</sup> century cottage together with additional living facilities in a buried rear extension, as indicated in Figures 02 to 05. The cottage is a semi-detached single storey structure that measures c.5m in length and c3.5m in width. The cottage is a Grade II Listed Building (ref. 18558) and the archaeological mitigation was undertaken in accordance with planning application LBC/2018/4, conditions 4 and 5.

Gwynedd Archaeological Planning Services (GAPS) requested a building record equivalent to Level 2/3, as defined in *Understanding Historic Buildings: A guide to good recording practice* (Historic England, 2016), combined with an intensive watching brief during the renovation and rear plot groundworks. A Level 2/3 record is classed as a descriptive and analytical record of a building which included an interior and exterior photographic survey as well as a written discussion that described form, function and setting and any structural phasing. The monitored restoration and refurbishment works were undertaken from between December 2019 and January 2020.

The mitigation was monitored by GAPS and a written scheme of investigation was submitted to and approved by GAPS in advance of works ([Appendix I](#)).

All work was planned, managed and undertaken by GAT in accordance with the following standards and guidance:

- *Guidance for the Submission of Data to the Welsh Historic Environment Records (HERs)* Version 1.1 (The Welsh Archaeological Trusts, 2018);
- *Guidelines for digital archives* (Royal Commission on Ancient and Historic Monuments of Wales, 2015).
- *Management of Archaeological Projects* (English Heritage, 1991);
- *Management of Research Projects in the Historic Environment: The MoRPHE Project Managers' Guide* (Historic England, 2015);

- *Standard and Guidance for Archaeological Watching Brief* (Chartered Institute for Archaeologists, 2014); and
- *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* (Chartered Institute for Archaeologists, 2014);
- *Standard and guidance for the collection, documentation, conservation and research of archaeological materials* (Chartered Institute for Archaeologists, 2014);
- *Understanding Historic Buildings: A Good to Good Recording Practice* (Historic England, 2016).

Gwynedd Archaeological Trust is certified to ISO 9001:2015 and ISO 14001:2015 (Cert. No. 74180/A/0001/UK/En), a Registered Organisation with the Chartered Institute for Archaeologists (CIfA), and a member of the Federation of Archaeological Managers and Employers (FAME).

In line with the Gwynedd Historic Environment Record (HER) requirements, the HER was contacted at the onset of the project to ensure that any data arising was formatted in a manner suitable for accession to the HER and follows the guidance set out in *Guidance for the Submission of Data to the Welsh Historic Environment Records (HERs)* (The Welsh Archaeological Trusts, 2018). The Historic Environment Record Enquiry No. was GATHER1141 and the Event Primary Reference Number was 45451.



## **1.1 Aims and Objectives**

The key aims and objectives were to:

- Complete a descriptive/analytical record of the cottage and produce a suitable analysis of its development and use;
- identify and record any archaeological remains encountered during the demolition and construction works;
- establish the date and nature of any archaeological remains identified and assess the implications for understanding the historical development of the area in conjunction with the known archaeological record; and
- if no archaeological activity was identified, establish why this may have been the case.

## 2 HISTORIC BACKGROUND

The Ferryman's Cottage (Primary Reference Number (PRN) 62777), is a Grade II Listed Building located along Beach Road in Menai Bridge, close to the shoreline of the strait. The cottage was listed in 1997 (St. Paul, 2017: 9) and is recorded as an unusual survival of a structure from the late 18<sup>th</sup> or early 19<sup>th</sup> centuries connected with a former ferry crossing (ibid.). The cottage is located within the Menai Bridge Conservation Area, which is generally recognised for the "quality and completeness of its predominately 19<sup>th</sup> Century character resulting from its rapid growth between 1820 and 1900 connected with the opening of Telford's Menai Suspension Bridge" (ibid.: 5). The cottage pre-dates the bridge and is within Sub Area 2 of the Conservation Area, which is further characterised as a "narrow strip of land to the east of the suspension bridge and consists of a mixture of former industrial land associated with the construction of the bridge and also maritime uses" (ibid.). Located in close proximity to the cottage are Cambria House (PRN 11022; NGR SH55687164), a former inn, originally built in the late seventeenth century, and a former foundry (PRN 62791; NGR SH55767169), traditionally associated with the building of Menai Suspension Bridge.

The cottage currently comprises a single room with a chimney at the northeast gable; the roof is built from slate. Internally, there is a fireplace and a single window with a southeast aspect; there is a blocked window on the opposite northwest elevation, the position of which suggests the rear ground level was formerly not as high as present (ibid.: 10). The floor level is currently a concrete screed.

The First to Third Edition Ordnance Survey 1-inch to 25-mile County Series Map Sheets of the area (Sheet XXIX.11, 1889, 1900 and 1912 respectively), all show the property clustered amongst a small group of buildings. A smaller building, probably an outbuilding, is shown to the rear of the cottage on all editions (cf. Figure 06 for a reproduction of the 1900 second edition map). This outbuilding is no longer visible at surface level, but may exist at foundation level or as demolished material.

A Heritage Impact Statement was prepared as part of the planning application (St. Paul, 2017: 9). This Statement involved an examination of the cottage and the Menai Bridge Conservation Area, focussing on their respective character, significance and importance. The proposals for the restoration and extension of the cottage and how this affects the heritage asset were also examined, to reach an assessment of the impact of the proposals on the heritage asset. The report concluded that the proposed conversion and extension

works would use traditional design techniques, methodology and materials: the roof will be renewed using slates designed on the existing pattern, the window will be restored to a Yorkshire Slider sash design, and an internal connection will be made to the rear extension through a former opening; the extension will then be largely buried at the rear with the only external signs being a glazed light well and a decked area. The report concluded the proposals would have no adverse impact on the Heritage Asset, as they were seen to have very limited impact on the cottage, in relation to the setting, and any impact was deemed to be positive (ibid. 18).

## 3 METHODOLOGY

### 3.1 Building Recording

The archaeological mitigation was undertaken as a Level 2/3 Record, as defined by *Understanding Historic Buildings: A Good to Good Recording Practice* (Historic England, 2016). A Level 2/3 record is characterised in *Understanding Historic Buildings* as a descriptive and analytical record (Historic England, 2016: 26), which incorporated the building exterior and interior, for which a photographic record, written record and drawn record was completed.

#### 3.1.1 Photographic Record

The photographic record conforms to *Understanding Historic Buildings* photographic elements 1, 2, 4, 5, 7 and 8 (Historic England, 2016: 26) and included:

- general views of the cottage within the local area;
- exterior and interior elevations - oblique and face-on (where practical);
- a record of the overall appearance of the interior;
- a record of any inscriptions, signage, or graffiti; contents that have a bearing on the building's history; and
- a record of key structural detail.

Suitable scales and artificial lighting were used. During the Level 2/3 record photographs were taken using a Nikon D5100 camera set to maximum resolution in RAW format (4928 x 3264 16.2 effective megapixels). During the watching brief photographs were taken using a Nikon D3100 camera set to maximum resolution in RAW format (4608 x 307 14.2 effective megapixels). The images were converted to TIFF for archiving using Adobe Photoshop; the photographic record was archived in *Microsoft Access* (archive reference G2623\_001 to G2623\_088; cf. [Appendix II](#)).

### 3.1.2 *Written Record*

The written record conforms to *Understanding Historic Buildings* report elements 1-3, 5-9 and 17; as well as 18, 20 and 21, if applicable (Historic England, 2016: 26). This consisted of:

- a description of the visible form, function, construction and any phasing of the cottage;
- a discussion of the architectural and historical context and significance of the building in terms of its location and historical associations, as well as its setting;
- evidence for the former existence of demolished structures was included, as well as an account of the building's past and present use;
- building record pro-forma were used to record individual rooms. The basic record pro-forma was also used to record the exterior and interior elevations, as well as key structural details, including the trusses; and
- key dimensions were recorded using a *Leica DISTO* laser measurer and detailed measurements using appropriate hand tapes.

### 3.1.3 *Drawing Record*

Measured drawings were prepared in accordance with *Understanding Historic Buildings* drawing elements 2 and 7 and 8 (Historic England, 2016: 26). This included:

- a location plan, incorporating the location/orientation of photographs taken (Figure 07); and
- an annotated measured plan that included the form and location of key structural features and fixtures.

### 3.2 Watching Brief

An archaeological watching brief is defined by the Chartered Institute for Archaeologists as a formal programme of observation and investigation conducted during any operation carried out for non-archaeological reasons where there is a possibility that archaeological deposits may be disturbed or destroyed. The programme results in the preparation of a report and ordered archive (CiFA, 2014).

An archaeological watching brief can be divided into four categories:

- comprehensive (present during all ground disturbance);
- intensive (present during sensitive ground disturbance);
- intermittent (viewing the trenches after machining);
- partial (as and when seems appropriate).

Further to the completion of the building record and commencement of the groundworks to renovate the cottage, an intensive watching brief was undertaken from 10<sup>th</sup> December 2019 to 15<sup>th</sup> January 2020.

A full project archive was prepared and the following dissemination will be applied during final archiving:

- A digital report was provided to the client and GAPS;
- A paper report plus a digital report was provided to the regional Historic Environment Record, Gwynedd Archaeological Trust, along with an event summary, in accordance with *Guidance for the Submission of Data to the Welsh Historic Environment Records (HERs)* (Version 1.1); and
- A digital report and archive data has been prepared for submission to the Royal Commission on the Ancient and Historical Monuments of Wales, in accordance with the *RCAHMW Guidelines for Digital Archives Version 1*. Digital information includes the photographic archive and associated metadata.



## **4 RESULTS**

### **4.1 Introduction**

The Ferryman's Cottage (Primary Reference Number (PRN) 62777), is a Grade II Listed Building located along Beach Road in Menai Bridge, close to the shoreline of the strait. The cottage is a single storey structure, dwarfed by the neighbouring multi-storeyed townhouses along Beach Road and is overlooked by townhouses along Cambria Road to the west and rear of the property (Plates 01 & 02).

The archaeological mitigation was undertaken in stages, with a Level 2/3 record conducted of the cottage prior to the commencement of the renovation works on 2<sup>nd</sup> December 2019 and an archaeological watching brief was conducted during the groundworks. The watching brief was conducted at intervals from 10<sup>th</sup> December 2019 to 15<sup>th</sup> January 2020 to coincide with specific actions of the renovation works.

### **4.1 Level 2/3 Record**

#### ***4.1.1 Exterior***

The cottage is a simple, single-storey structure, with the eastern elevation, the frontage along Beach Road, being the most visible and best representation of the building. The east elevation of the cottage was rendered and painted white, with the outlines of stones that comprised the wall being visible through the render. There was a single doorway, off centre, accessed via two steps and a single glazed six light window to the immediate north. The cottage had a gable slate roof covered by a thin layer of felt or tar, most likely applied to keep the building watertight. At the northern gable end of the cottage there was a masonry chimney, constructed of brick, covered in plaster and topped by a simple, ceramic chimney pot (Plates 01 & 02). At the northern side of the cottage there was a narrow passage, with a width of 0.55m that provided access to the rear of the property. The passage consisted of five steps, covered by concrete (Plate 03).

The southern elevation of the cottage was not visible as it abutted the neighbouring property, while the northern elevation was similar to that of the eastern view, being rendered painted white stone wall. The western elevation of the cottage essentially comprised the gable roof, as due to the steep rise of the local topography the rear wall of the cottage neatly abuts the natural slope and was not externally visible (Plate 04). The back garden of the cottage was

stepped, with a concrete surface and an overgrown border that was defined by a plastered concrete wall, with a section of the wall also covered in sea shells (Plate 05).

#### *4.1.2 Interior*

The interior of the cottage consisted of a single room that measured 3.91m in length, 2.27m in width, with a maximum ceiling height of 2.55m. The walls were covered in a rough lime plaster which retained fragments of red paint, with the greatest concentration above a fireplace on the northern wall (Plate 06). The floor consisted of poured concrete, with a stone slab hearth adjacent to the fireplace. The ceiling of the cottage was comprised of lathe and plaster. The plaster had decayed with visible gaps between the lathe and slates of the roof visible. The ceiling and roof was held in place by three wooden beams, one at the centre/apex of the roof, with the other beams situated at the eastern and western elevations. The beams extended north-south along the length of the cottage, being set within the walls of the north and south elevations. The beams on the eastern and western elevations were approximately 0.20m wide and 0.07m deep. At the southern end of the cottage a support beam extended from the floor to a cross beam to support the roof beams. The timber used for the support and cross beam was modern, factory cut pieces of wood, most likely deployed as a temporary support for the sagging roof of the cottage. Concentrated along the base of the ceiling and top of the walls wooden planks were evident. The planks were painted red, which at the time of the survey had faded and were attached to the lathes. They were most evident above the window in the eastern elevation and those along the southern elevation were curved. The planks may have formed the inner lining of the ceiling and would have covered the now exposed lathes and plaster (Plates 07 & 08).

Surviving features included the only doorway to the property, located on the eastern elevation, along with a window and shelving. On the northern elevation there was a chimney with a fireplace, the western elevation had a blocked window and there were brackets for shelving on the southern elevation.

The door consisted of three vertical wooden planks, held in place with three horizontal planks of wood (Plate 09). The door was quite dishevelled and worn, measuring 1.5m in height and 0.77m in width. There were the rusted remains of two door locks, one of which had a rounded door handle. It was hung off the doorway with two large metal hinges. The doorway was 1.67m high and 0.84m wide, with a wooden doorframe.

The window on the eastern elevation was positioned between the doorway and the northern elevation. The window opening and pane measured 1.12m high and 0.65m wide, being

recessed within the wall by a depth of 0.42m. The window pane was single glazed with six lights (Plate 10).

Between the doorway and the southern elevation there was a wooden shelf set on metal brackets (Plate 11). On the adjacent southern elevation there three rows of shelf brackets but only one shelf was extant at the time of the survey.

In the middle of the northern elevation there was a chimney with an extant fireplace (Plate 12), which measured 1.07m in height and 0.94m in width. The fireplace no longer had a mantle but the surround was still intact and consisted of three planks of wood; two vertical and one horizontal. The vertical wooden planks measured 1.07m high and 0.13m wide, while the horizontal plank measured 0.68m long and 0.2m high. The panel of the fireplace was cast iron and decorative, measuring 0.87m in height and 0.77m in width, with a metal grating at the centre. A stone slab survived as a hearth, measuring 1.08m by 0.68m. Set above the fireplace the plaster had fallen a way to show a large stone that was 1.0m long and 0.45m high.

Set within the western elevation there was a blocked window opening (Plate 13). The opening was recessed within the wall by 0.31m, with a measured height of 0.89m and width of 0.84m. The blocked material had been plastered.

## 4.2 Watching Brief

### 4.2.1 Exterior

The main focus of the groundworks monitored during the watching brief was at the rear of the cottage, off Cambria Road. The clearance of overgrown vegetation better illustrated the layout of the back garden of the cottage (Plate 14). The garden was stepped in account for the steep westerly slope toward Cambria Road. The space to the immediate west of the cottage was level with a concrete surface and bordered by concrete and rendered wall, some of which had sea shells, that formed a border; the wall was 1.0m high with a depth of 0.30m. At the northern limit of this border wall, the concrete abutted a substantial roughly coursed stone wall, comprised of sub-angular and sub-rounded stones (Plate 15). This stone wall had an exposed width and height of 1.0m, and it extended west by approximately 1.5m where it became incorporated within a north-south aligned stone embankment. This low embankment also defined the western edge of the border and it abutted a narrow rendered stone wall which formed the boundary of the cottage along the Cambria Road. The embankment was 0.4m wide and 0.5m high; the boundary wall off Cambria Road was 1.1m high and 0.35m wide.

The groundworks at the rear of the cottage were all completed by hand, using a mixture of hand tools and hand held pneumatic tools. When the concrete yard at the immediate rear of the cottage was removed a layer of mixed rubble (Plate 16) (mixture of brick and stone fragments along with pieces of mortar) was exposed and also removed onto natural bedrock. This was the same make-up for the steps at the side of the cottage, along the northern elevation. The concrete was removed to reveal a mixture of insitu angular stones, which corresponded with some of the steps noted in the building record, along with a mixture of brick fragments and pieces of mortar (Plate 17).

The border wall, stone embankment and boundary wall along Cambria Road were also removed by hand. The stones from the boundary wall were retained and stored in a skip to be reinstated upon completion of the project. There was a thin covering of topsoil (maximum depth of 0.2m) which overlaid a layer of demolition rubble that consisted of fragments of concrete, mortar and plaster. This gave way to concentrations of natural bedrock (Plate 18).

The clearance and ground reduction work monitored during the watching brief identified modern, most likely 20<sup>th</sup> century activity and there was no indication of earlier activity associated with the cottage.

#### 4.2.2 *Interior*

The groundwork and clearance work within the cottage was also done by hand, with hand tools and hand held pneumatic tools. Among the first actions was the removal of the front steps off Beach Road, which comprised concrete slabs set on top of frogged red bricks and the removal of the concrete floor. The floor had a maximum depth of 0.08m and overlaid a layer of rubble (mixture of brick and stone fragments along with pieces of mortar). At the northeast corner of the room, between the fireplace and the eastern wall there was a concentration of reddish brown clay, a probable natural deposit. There was also a concentration of natural bedrock at the centre of the cottage floor that sloped up from the doorway to the western wall. There was no evidence for earlier floor surfaces or other archaeological activity during this aspect of the groundworks (Plates 19 & 20).

The plaster was removed from the interior to reveal that the walls consisted of irregularly placed locally sourced small to medium sized angular stones roughly bonded with coarse lime mortar. There was no indication of plastered over former openings and confirmed that the blocked window opening on the west wall had not previously been a door opening. The window opening and window ledge on the eastern wall was defined by brick. The fireplace was also removed, the opening for the chimney measured 1.09m high by 0.76m wide (Plates 21 & 22).

A doorway was formed through the existing blocked window in the rear of the cottage by the contractor. The cottage wall had a maximum thickness of 0.40m.

## 5 CONCLUSION

Gwynedd Archaeological Trust was commissioned by Mr. Brian Cain to undertake archaeological mitigation in advance of proposed conversion and extension works at a former ferryman's cottage located in Menai Bridge, Ynys Môn. The archaeological mitigation was a two staged process with a Level 2/3 building recording being conducted in advance of the renovation work and an intensive archaeological watching brief was conducted during the groundworks at the cottage.

The cottage is a Grade II listed building, a relic from the late 18<sup>th</sup> century or early 19<sup>th</sup> century being associated with a former ferry crossing (St. Paul, 2017: 9), prior to the completion of the Menai Suspension Bridge in 1826. The Level 2/3 building record confirmed and accentuated the Heritage Impact Assessment conducted by J. St. Paul in 2017. The record confirmed that it was a simple vernacular building that largely retained the style and character of a 19<sup>th</sup> century cottage. The composition of the walls, of rough rubble stone bonded by lime mortar, rendered and white washed is comparable with rural cottages found throughout Anglesey. Elements of the roof, in particular the use of slate tiles, lathe and plaster interior, may date from later in the 19<sup>th</sup> century. The surviving features of the interior of the cottage are of later date. The fireplace was most likely of late 19<sup>th</sup> or early 20<sup>th</sup> century origin, while the shelving and certain timbers, in particular the cross beam and timber support are of later 20<sup>th</sup> century or even 21<sup>st</sup> century date.

The subsequent archaeological watching brief confirmed the composition of the superstructure of the cottage and that the blocked window in the western wall had not previously been a door opening. As there was no indication that there had been other openings present within the walls, there does not appear to have been access to the back garden from within the cottage. Rather access was gained via the passage next to the northern elevation of the cottage. No earlier activity was evident within the interior of the cottage.

There was no indication of the square structure positioned off Cambria Road at the rear of the cottage as depicted on the Second Edition Ordnance Survey Map of 1900. Given the degree of disturbance at the rear of the cottage, with the back yard being raised to the level of the base of the roof and construction of the concreted walled border, evidence for earlier activity such as this outbuilding most likely had been removed by this later 20<sup>th</sup> century activity. In addition, given how close the underlying natural bedrock was to the current ground surface, this would have formed a considerable barrier to further construction or extension to the cottage.



## 6 SOURCES CONSULTED

1. Chartered Institute for Archaeologists, 2014, Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures;
2. Chartered Institute for Archaeologists, 2014, Standard and guidance for the collection, documentation, conservation and research of archaeological materials;
3. Chartered Institute for Archaeologists, 2014, Standard and Guidance for Archaeological Watching Brief;
4. English Heritage, 1991, Management of Archaeological Projects (MAP2);
5. Historic England, 2015, Management of Research Projects in the Historic Environment (MoRPHE);
6. Historic England, 2016. *Understanding Historic Buildings: A Good to Good Recording Practice*;
7. Ordnance Survey First Edition 1-inch to 25-mile County Series Map Sheet XIX.11; published in 1889;
8. Ordnance Survey First Edition 1-inch to 25-mile County Series Map Sheet XIX.11; published in 1900;
9. Ordnance Survey First Edition 1-inch to 25-mile County Series Map Sheet XIX.11; published in 1914;
10. Oriel Ynys Mon, 2012. *Guidelines for the preparation and deposition of archaeological archive*;
11. Royal Commission on Ancient and Historic Monuments of Wales, 2015, Guidelines for digital archives;
12. St. Paul, J. 2017. *Heritage Impact Statement. Regarding: The Impact on the Heritage Asset of Proposed Works at Ferryman's Cottage, Beach Road, Menai Bridge, Ynys Mon*;
13. The Welsh Archaeological Trusts, 2018. *Guidance for the Submission of Data to the Welsh Historic Environment Records (HERs) Version 1.1.*



Pattern a strwythur masnachol gwyddu o'r y cyfnewtyn  
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The map shows the Hafod area with the following labels and features:

- Old Foundry**: Located at the top of the map.
- Hafod**: A large building complex in the center.
- Slipway**: A small rectangular area adjacent to the Hafod building.
- Rock**: A blue label indicating a rocky area near the slipway.
- Glan-y-mor**: Located at the bottom of the map.
- Mean Hi**: A blue line representing a river or stream flowing along the right side of the map.

## Rock

2

—

14

## Hafod

# Slipway

## Glan-y-mor

Mae'r dyluniad hwn yn hawffrindd Penseiri Russell-Hughes ac ni chaniateir ei gopio neu ei atgynhyrchu heb ganiatad

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Cynllun - Job

**FERRY MANS COTTAGE,  
MENAI BRIDGE**

Dyluniad - Drawing

**SITE PLAN**

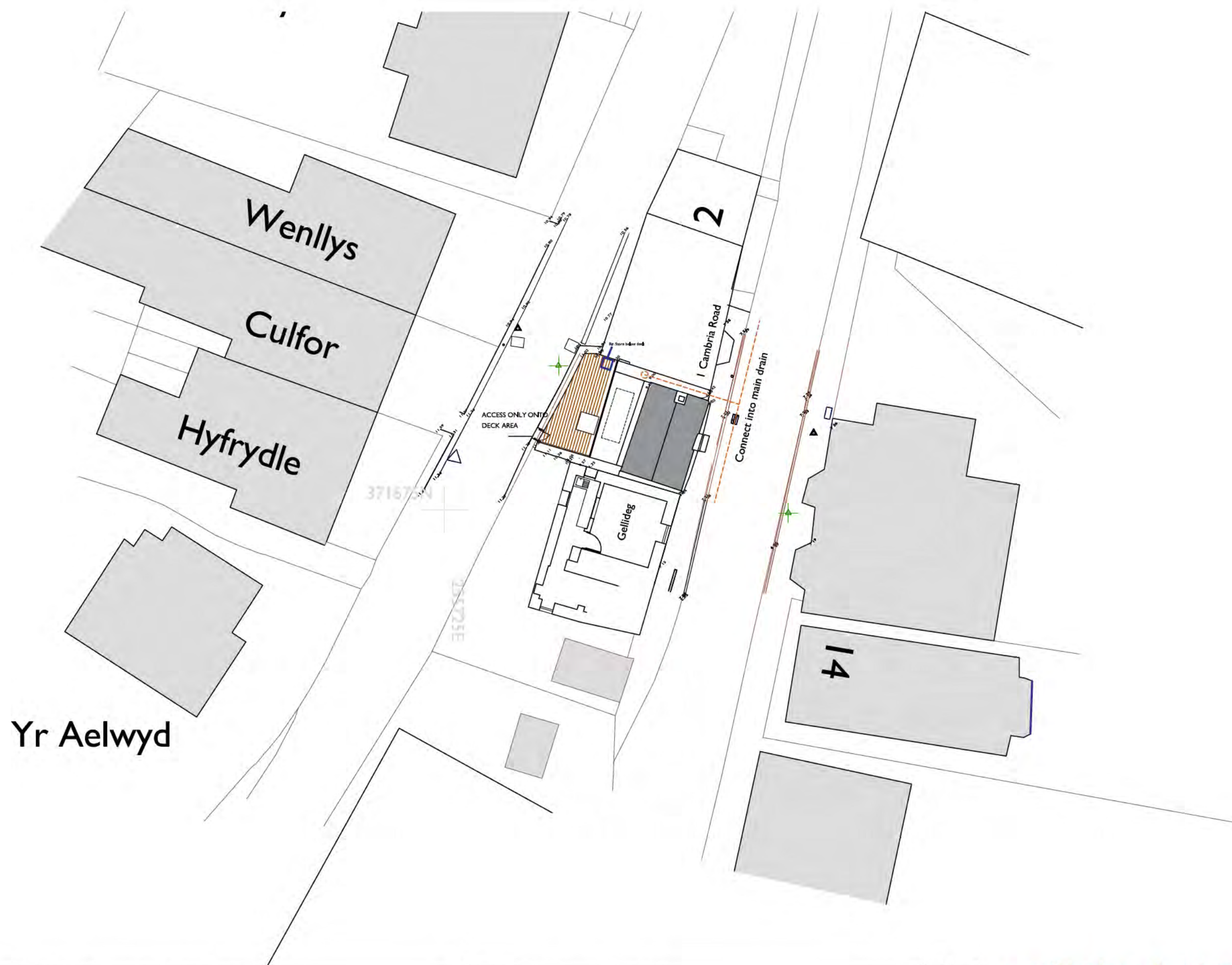
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Graddfa - Scale  
1:200 @ A3  
Dyddiad - Date  
Dec 2017



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ean Lo





Peldwch a chymryd mesurïadau graddfa oddi ar y dyluniad hwn  
Os yn amau - gofynnwch  
Do not scale from this drawing  
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charifateir ei gopïo neu ei atgynhyrchu heb ganiatad

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Newidïadau - Amendments

Cynllun - Job

**FERRY MANS COTTAGE,  
MENAI BRIDGE**

Dyluniad - Drawing

**PROPOSED SITE PLAN**

Rhif Dyluniad - Drawing No.

**2539:17:3a**

Graddfa - Scale

**1:200 @ A3**

Dyddiad - Date

**Jan 2019**

**russell-hughes cyf**  
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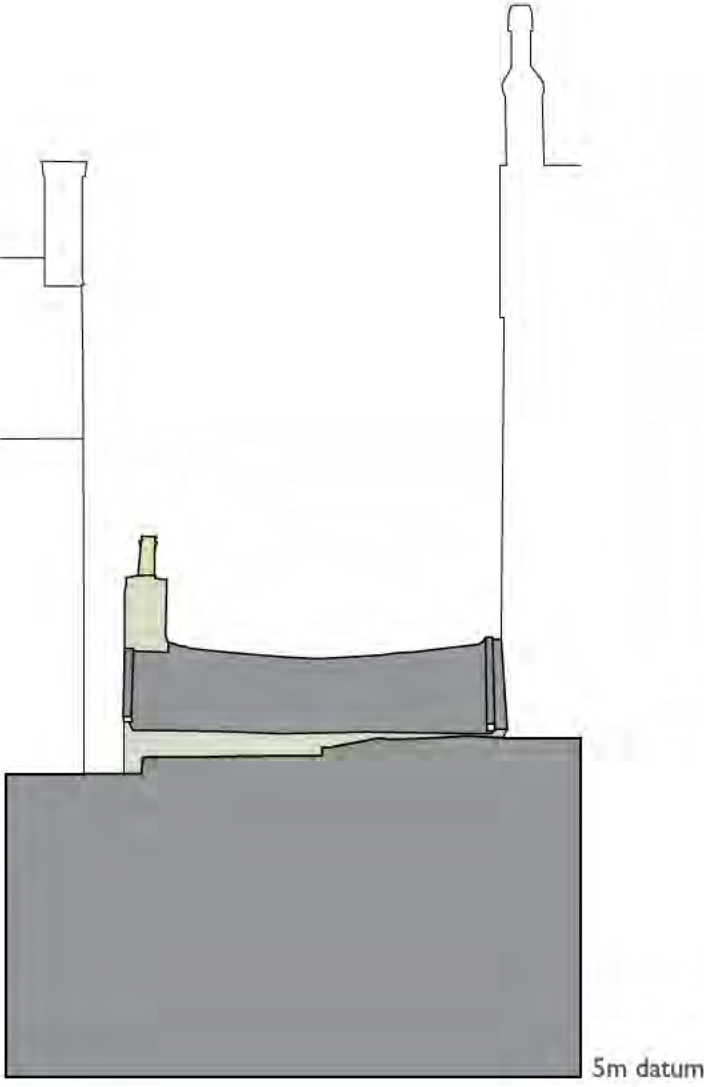
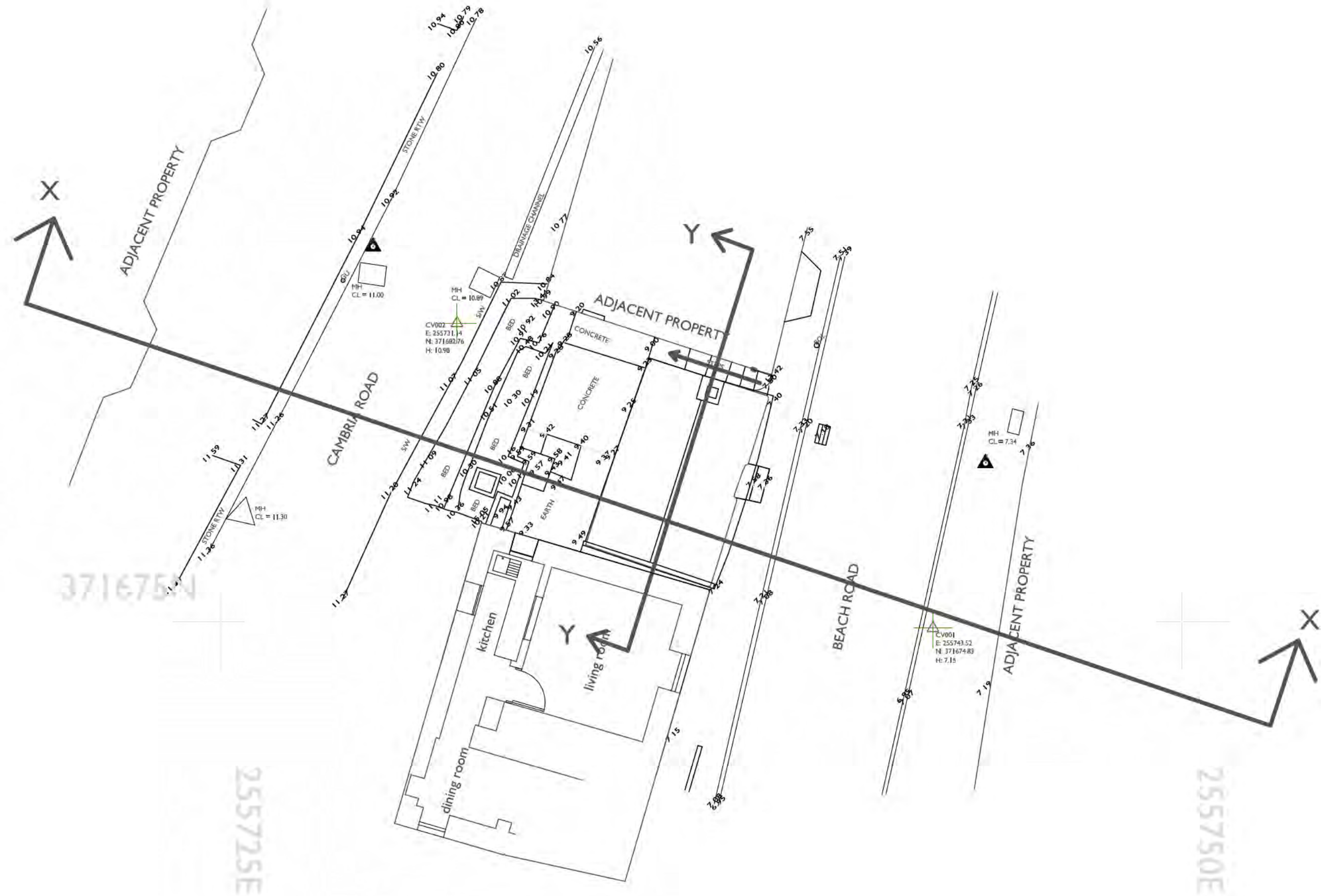




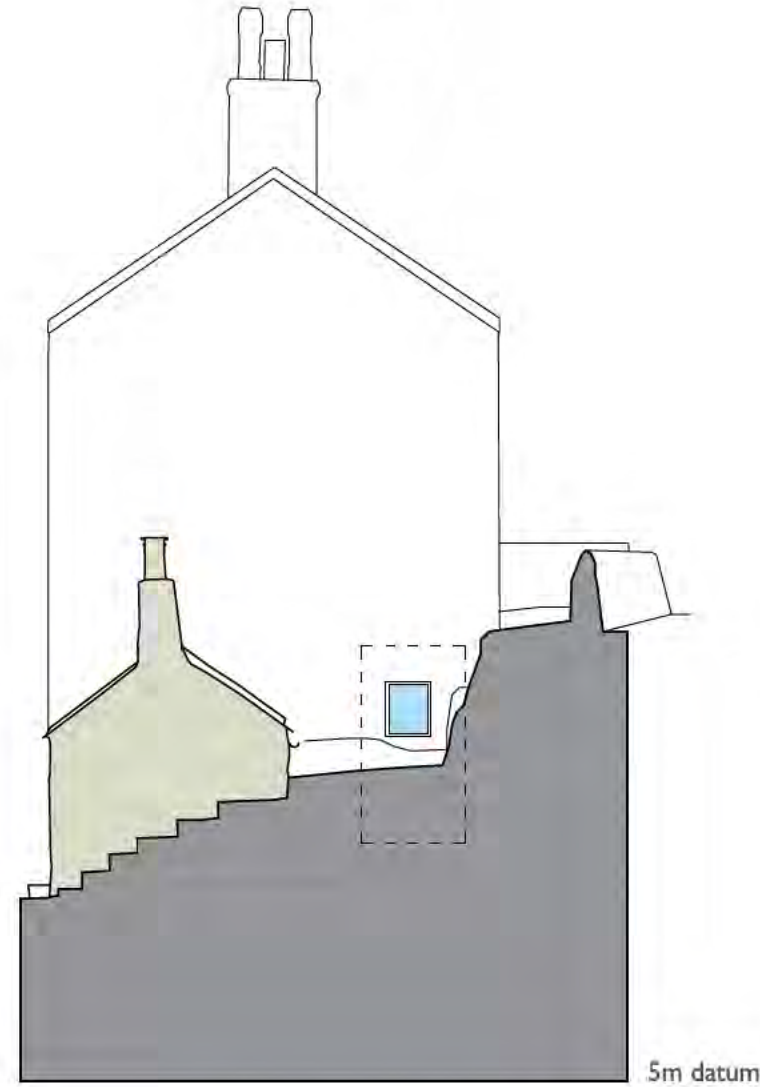
SECTION X-X



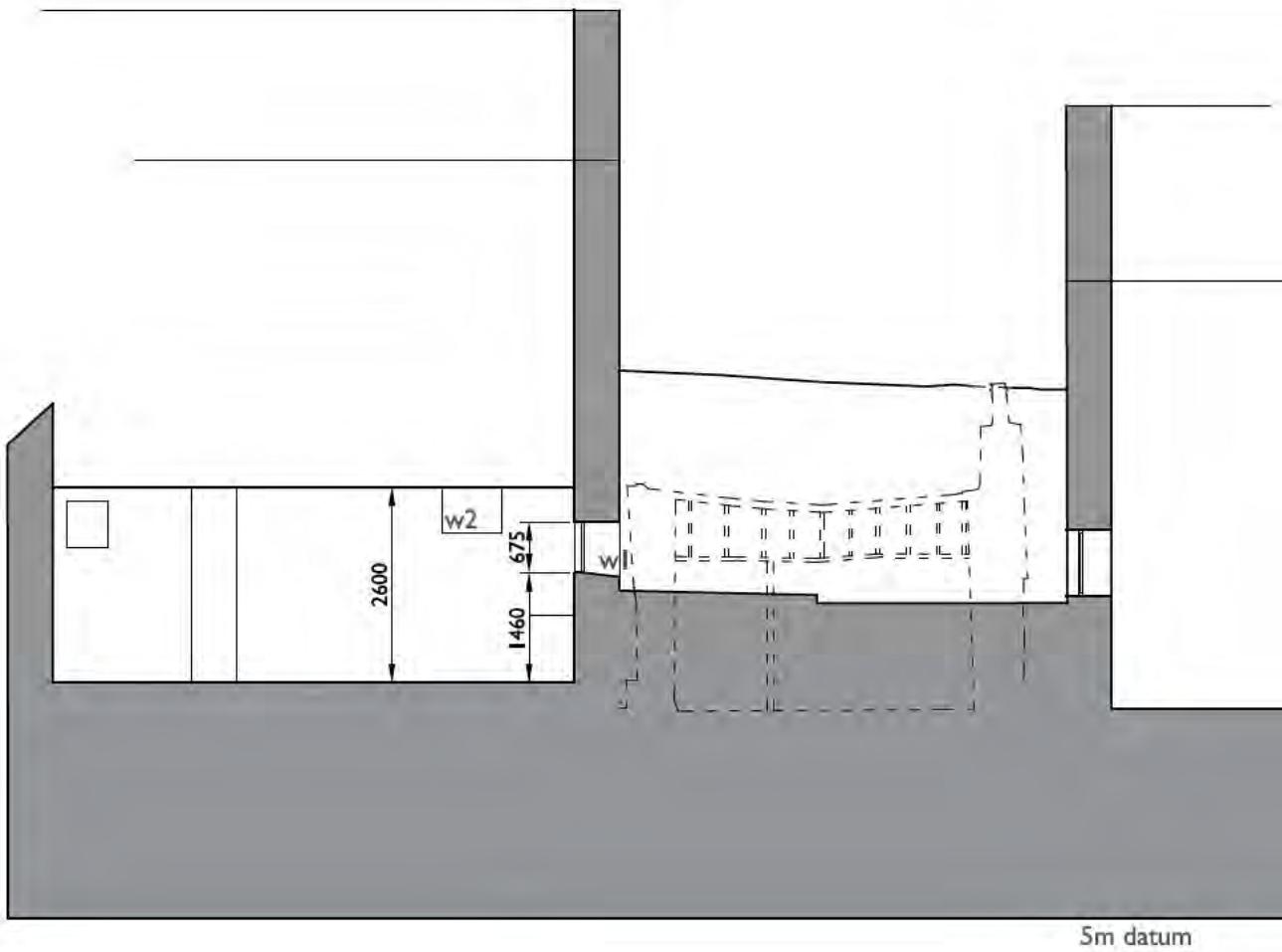
EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



SECTION X-X

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Os yn amau - gofynnwch  
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chaniateir ei gopïo neu ei atgynhyrchu heb ganiatâd  
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Newidiadau - Amendments

Cynllun - Job  
**FERRYMAN'S COTTAGE**  
**MENAI BRIDGE**  
Dyluniad - Drawing  
**EXISTING PLANS**

Rhif Dyluniad - Drawing No.  
**2539:17:4**  
Graddfa - Scale  
**1:100 AI**  
Dyddiad - Date  
**Dec 2017**

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FIGURE 06: Reproduction of Ordnance Survey Second Edition 1-inch to 25-mile County Series Map Sheet XIX.11; published in 1900. Scale 1:1500 @ A4.

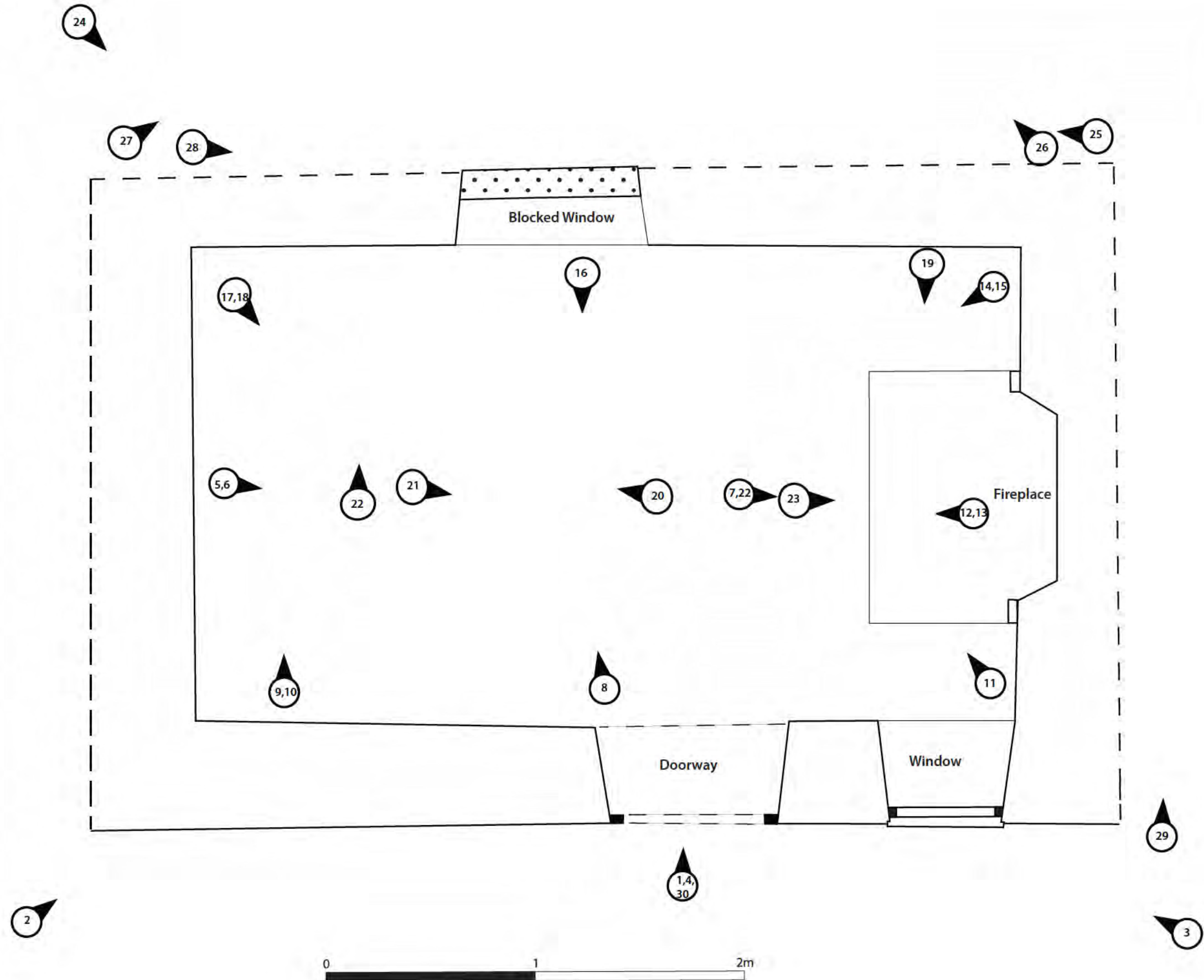




FIGURE 07

Photo location plan of  
Level 2/3 building recording

Date: 11/08/2020  
Author: AMO & SR  
Office: GAT  
Drawing:  
Scale: N/A



0 1 2m

Scale: 1:20 @ A3



Plate 01: Eastern elevation of Ferryman's Cottage; scale: 1x1m (archive reference: G2623\_004).



Plate 02: Oblique view eastern elevation; scale: 1x1m (archive reference: G2623\_002).





Plate 03: Access to rear narrow steps at north side of building; scale: 1x1m (archive reference G2623\_016).



Plate 04: North end of roof (external view); scale:1x1m (archive reference G2623\_019).





Plate 05: Back garden of the cottage; scale 1x1m; (archive reference G2623\_026).



Plate 06: Oblique view of eastern & northern wall, front door, window and fireplace; scale:1x1m (archive reference G2623\_018).





Plate 07: Ceiling and roof at south end and south wall; (archive reference: G2623\_020).

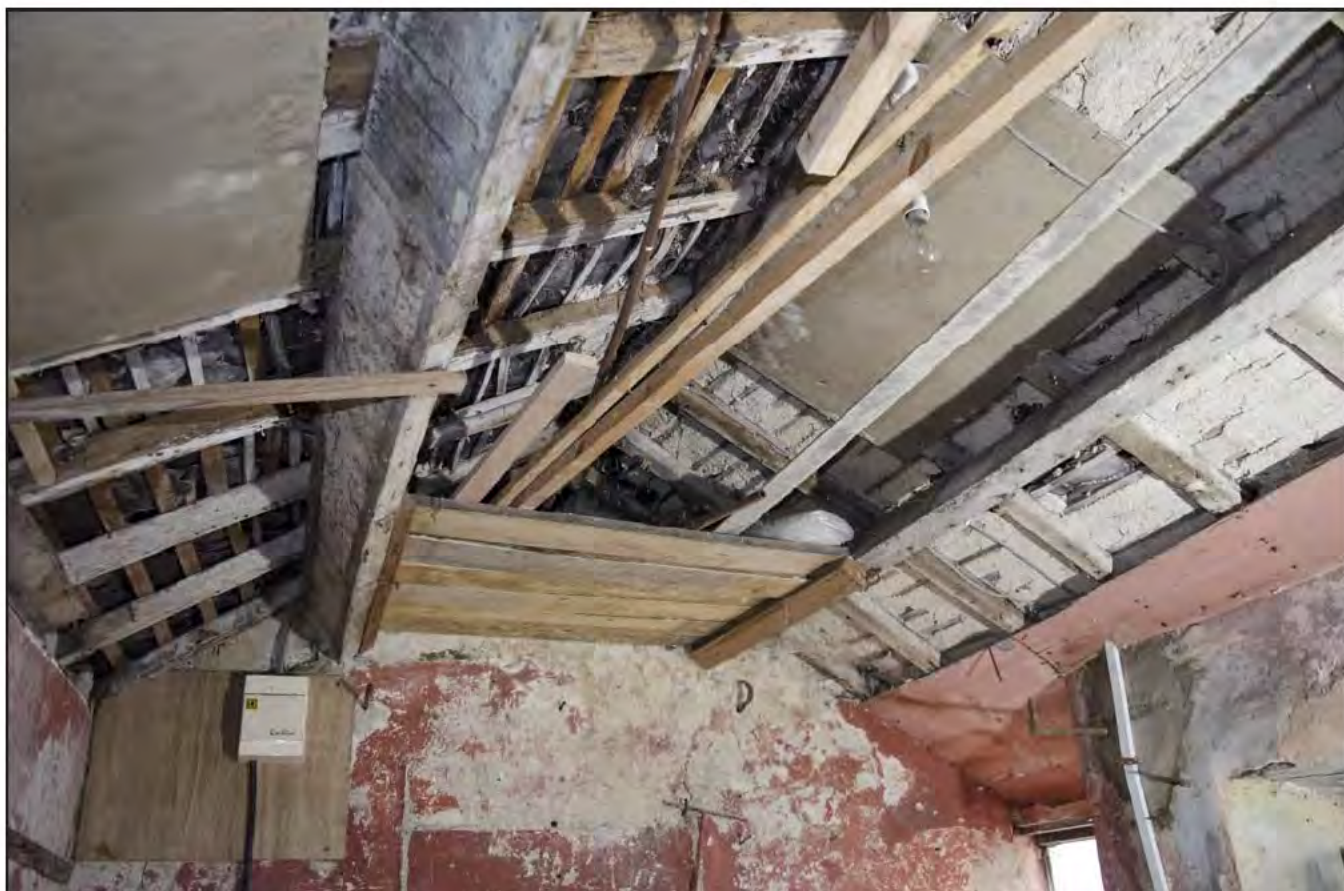


Plate 08: Ceiling above fireplace on north wall (archive reference: G2623\_021).





Plate 09: View of front door in eastern wall; scale: 1x1m (archive reference G2623\_016).



Plate 10: View of window in eastern wall; scale: 1x1m (archive reference G2623\_019).





Plate 11: Oblique view of east wall with shelves and front door; scale: 1x1m (archive reference: G2651\_016).



Plate 12: Fireplace set within northern wall; scale: not used (archive reference: G2651\_023).





Plate 13: Blocked window in western wall; scale 1x1m (archive reference G2623\_022).



Plate 14: Oblique view of rear garden after vegetation clearance; scale:1x1m (archive reference G2623\_042).





Plate 15: View of stone wall at rear of garden; scale: 1x1 m (archive reference: G2623\_040).



Plate 16: View of rear of the building after concrete was removed; scale: 1x1 m (archive reference: G2623\_031).





Plate 17: View of steps to garden after concrete removed and ground level reduced; scale: 1x1m (archive reference: G2623\_036).



Plate 18: View to rear of cottage showing bedrock and soil beneath Cambria Road; scale not used (archive reference: G2623\_084).





Plate 19: Front door after steps removed; scale: not used (archive reference: G2623\_059).



Plate 20: Floor of cottage after removal of concrete; scale: 1x1m (archive reference: G2623\_078).





Plate 21: North wall of cottage - render removed to expose stone work; scale: 1x1m (archive reference: G2623\_065).



Plate 22: Opening at rear, western end of the cottage, for new doorway; scale: 1x1m (archive reference: G2623\_080).

## **APPENDIX I**

**Gwynedd Archaeological Trust approved written scheme of investigation, June 2019**

# **FERRYMAN'S COTTAGE, MENAI BRIDGE (G2623)**

## **WRITTEN SCHEME OF INVESTIGATION FOR ARCHAEOLOGICAL MITIGATION**




**Prepared for**

*Mr. Brian Cain*

**June 2019**



Ymddiriedolaeth Archaeolegol Gwynedd  
Gwynedd Archaeological Trust

Approvals Table				
	Role	Printed Name	Signature	Date
Originated by	Document Author	JOHN ROBERTS		26/06/19
Reviewed by	Document Reviewer	Stuart Reilly		26/06/19
Approved by	Principal Archaeologist	JOHN ROBERTS		26/06/19

Revision History			
Rev No.	Summary of Changes	Ref Section	Purpose of Issue

All GAT staff should sign their copy to confirm the project specification is read and understood and retain a copy of the specification for the duration of their involvement with the project. On completion, the specification should be retained with the project archive:

Name

Signature

Date



# **FERRYMAN'S COTTAGE, MENAI BRIDGE (G2623)**

## **WRITTEN SCHEME OF INVESTIGATION FOR ARCHAEOLOGICAL MITIGATION**

Prepared for *Mr. Brian Cain*, June 2019

Historic Environment Record Event Primary Reference Number 45451

1	INTRODUCTION.....	6
1.1	Aims and Objectives .....	8
1.2	Monitoring Arrangements.....	9
1.3	Historic Environment Record .....	10
2	ARCHAEOLOGICAL BACKGROUND.....	11
3	METHOD STATEMENT .....	13
3.1	Introduction .....	13
3.2	Building Recording.....	14
3.2.1	Photographic Record.....	14
3.2.2	Written Record .....	14
3.2.3	Drawing Record.....	15
3.3	Watching Brief .....	16
3.4	Human Remains .....	19
3.5	Ecofacts.....	20
3.6	Artefacts .....	21
3.7	Fieldwork Archiving.....	23
3.8	PROCESSING DATA, ILLUSTRATION, REPORT AND ARCHIVING.....	24
4	DISSEMINATION AND ARCHIVING.....	25
5	PERSONNEL .....	26
6	HEALTH AND SAFETY.....	27
7	social media .....	28
8	INSURANCE .....	29
8.1	Public/Products Liability .....	29
8.2	Employers Liability .....	29
8.3	Professional Indemnity.....	29
9	SOURCES CONSULTED.....	30
	Figure 01.....	31

Reproduction of Russell-Hughes Cyf Drawing No. 2539-17-1: Location Plan. Scale 1:250@A4.....	31
Figure 02.....	32
Reproduction of Russell-Hughes Cyf Drawing No. 2539-17-2: Existing Site Plan. Scale 1:200@A3.....	32
Figure 03.....	33
Reproduction of Russell-Hughes Cyf Drawing No. 2539-17-3a: Proposed Site Plan. Scale 1:200@A3.....	33
Figure 04.....	34
Reproduction of Russell-Hughes Cyf Drawing No. 2539-17-4: Existing Plans. Scale 1:100@A1.....	34
Figure 05.....	35
Reproduction of Russell-Hughes Cyf Drawing No. 2539'17'9a: Existing and Proposed Sections. Scale 1:50@A1 .....	35
Figure 06.....	36
Reproduction of Ordnance Survey Second Edition 1-inch to 25-mile County Series Map Sheet XIX.11; published in 1900. Scale 1:1500 @ A4.....	36
Appendix I.....	37
Gwynedd Archaeological Trust Building Record pro-forma .....	37
Appendix II.....	38
Gwynedd Archaeological Trust room recording pro-forma .....	38
Appendix III.....	39
Gwynedd Archaeological Trust photographic metadata pro-forma .....	39
Appendix IV .....	40
Gwynedd Archaeological Trust Watching Brief pro-forma .....	40
Appendix V .....	41
Reproduction of Decision Notice LBC/2018/4 .....	41

# 1 INTRODUCTION

Gwynedd Archaeological Trust (GAT) has been commissioned by Mr. Brian Cain to undertake archaeological mitigation in advance of proposed conversion and extension works at a former ferryman's cottage located in Menai Bridge, Ynys Môn (NGR SH55747169; postcode: LL59 5DY; Figure 01). The proposals involve the restoration and refurbishment for residential use of an existing late 18<sup>th</sup>/early 19<sup>th</sup> century cottage together with additional living facilities in a buried rear extension, as indicated in Figures 02 to 05. The cottage is a semi-detached single storey structure that measures c.5m in length and c3.5m in width. The cottage is a Grade II Listed Building (ref. 18558) and the archaeological mitigation is being undertaken in accordance with planning application LBC/2018/4, conditions 4 and 5 (cf. [Appendix V](#)).

Gwynedd Archaeological Planning Services has requested a building record equivalent to Level 2/3, as defined in *Understanding Historic Buildings: A guide to good recording practice* (Historic England, 2016), combined with an intensive watching brief during the renovation and rear plot groundworks. A Level 2/3 record is classed as a descriptive and analytical record of a building that will include an interior and exterior photographic survey as well as a written discussion that describes form, function and setting and any structural phasing. The proposed conversion and extension works are currently scheduled to be undertaken from September 2019.

All work will be planned, managed and undertaken by GAT in accordance with the following standards and guidance:

- *Guidance for the Submission of Data to the Welsh Historic Environment Records (HERs)* Version 1.1 (The Welsh Archaeological Trusts, 2018);
- *Guidelines for digital archives* (Royal Commission on Ancient and Historic Monuments of Wales, 2015).
- *Management of Archaeological Projects* (English Heritage, 1991);
- *Management of Research Projects in the Historic Environment: The MoRPHE Project Managers' Guide* (Historic England, 2015);
- *Standard and Guidance for Archaeological Watching Brief* (Chartered Institute for Archaeologists, 2014); and

- *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* (Chartered Institute for Archaeologists, 2014);
- *Standard and guidance for the collection, documentation, conservation and research of archaeological materials* (Chartered Institute for Archaeologists, 2014);
- *Understanding Historic Buildings: A Good to Good Recording Practice* (Historic England, 2016).

Gwynedd Archaeological Trust is certified to ISO 9001:2015 and ISO 14001:2015 (Cert. No. 74180/A/0001/UK/En), a Registered Organisation with the Chartered Institute for Archaeologists (CIfA), and a member of the Federation of Archaeological Managers and Employers (FAME).

## **1.1 Aims and Objectives**

The key aims and objectives are to:

- Complete a descriptive/analytical record of the cottage and produce a suitable analysis of its development and use;
- identify and record any archaeological remains encountered during the demolition and construction works;
- establish the date and nature of any archaeological remains identified and assess the implications for understanding the historical development of the area in conjunction with the known archaeological record; and
- if no archaeological activity is identified, establish why this may be the case.

## **1.2 Monitoring Arrangements**

The archaeological mitigation will be monitored by the Gwynedd Archaeological Planning Service (GAPS); the content of this WSI and all subsequent reporting by GAT must be approved by GAPS prior to final issue.

The GAPS Archaeologist will need to be informed of the project timetable and of the subsequent progress and findings. The curator contact details are: 01248370926.

### **1.3 Historic Environment Record**

In line with the GAT Environment Record (HER) requirements, the HER will be contacted at the onset of the project to ensure that any data arising is formatted in a manner suitable for accession to the HER and follows the guidance set out in *Guidance for the Submission of Data to the Welsh Historic Environment Records (HERs)* (The Welsh Archaeological Trusts, 2018). In line with this guidance, all submitted reporting will need to include the equivalent of a non-technical summary in Welsh and English at the front of the report combined with short bilingual summaries of the principal Historic Assets recorded during the event. These requirements are mandatory. The GAT HER enquiry number is GATHER1141 and the event primary reference number is 45451.

## 2 ARCHAEOLOGICAL BACKGROUND

The Ferryman's Cottage (Primary Reference Number (PRN) 62777), is a Grade II Listed Building located along Beach Road in Menai Bridge, close to the shoreline of the strait. The cottage was listed in 1997 (St. Paull, 2017: 9) and is recorded as an unusual survival of a structure from the late 18<sup>th</sup> or early 19<sup>th</sup> centuries connected with a former ferry crossing (ibid.). The cottage is located within the Menai Bridge Conservation Area, which is generally recognised for the "quality and completeness of its predominately 19th Century character resulting from its rapid growth between 1820 and 1900 connected with the opening of Telford's Menai Suspension Bridge" (ibid.: 5). The cottage pre-dates the bridge and is within Sub Area 2 of the Conservation Area, which is further characterised as a "narrow strip of land to the east of the suspension bridge and consists of a mixture of former industrial land associated with the construction of the bridge and also maritime uses" (ibid.). Located in close proximity to the cottage are Cambria House (PRN 11022; NGR SH55687164), a former inn, originally built in the late seventeenth century, and a former foundry (PRN 62791; NGR SH55767169), traditionally associated with the building of Menai Suspension Bridge.

The cottage currently comprises a single room with a chimney at the northeast gable; the roof is built from slate. Internally, there is a fireplace and a single window with a southeast aspect; there is a blocked window on the opposite northwest elevation, the position of which suggests the rear ground level was formerly not as high as present (ibid.: 10). The floor level is currently a concrete screed.

The First to Third Edition Ordnance Survey 1-inch to 25-mile County Series Map Sheets of the area (Sheet XXIX.11, 1889, 1900 and 1912 respectively), all show the property clustered amongst a small group of buildings. A smaller building, probably an outbuilding, is shown to the rear of the cottage on all editions (cf. Figure 06 for a reproduction of the 1900 second edition map). This outbuilding is no longer visible at surface level, but may exist at foundation level or as demolished material.

A Heritage Impact Statement was prepared as part of the planning application (St. Paull, 2017: 9). This Statement involved an examination of the cottage and the Menai Bridge Conservation Area, focussing on their respective character, significance and importance. The proposals for the restoration and extension of the cottage and how this affects the heritage asset were also examined, to reach an assessment of the impact of the proposals on the heritage asset. The report concluded that the proposed conversion and extension



works would use traditional design, techniques, methodology and materials: the roof will be renewed using slates designed on the existing pattern, the window will be restored to a Yorkshire Slider sash design, and an internal connection will be made to the rear extension through a former opening; the extension will then be largely buried at the rear with the only external signs being a glazed light well and a decked area. The report concluded the proposals would have no adverse impact on the Heritage Asset, as they were seen to have very limited impact on the cottage, in relation to the setting, and any impact was deemed to be positive (ibid. 18).

### **3 METHOD STATEMENT**

#### **3.1 Introduction**

The restoration and refurbishment works will include the replacement or improvement of existing fittings, the conversion of the existing interior into a bedroom and the construction of a buried rear extension that will house kitchen and bathroom facilities. A doorway would be formed through the existing blocked window in the rear of the cottage. Access to the cottage will be via the side steps and through the extension; there will also be a pedestrian access from Cambria Road through the existing stone wall on to the decked upper roof of the extension.

The archaeological mitigation will include a building record in advance of the restoration and refurbishment works and a watching brief during works. The building record will initially document the current form and function of the cottage, and this will be supplemented by further records during the watching brief if any additional structural information is identified. Particular attention will be paid during the works to the opening of the blocked window, the walls during removal of current surfacing and the floor during removal of the concrete screed. The watching brief will also focus on the excavation of the property rear for the extension. The First to Third Edition Ordnance Survey 1-inch to 25-mile County Series Map Sheets of the area (Sheet XXIX.11, 1889, 1900 and 1 912 respectively) show an outbuilding at the rear of the property and the watching brief will pay particular attention to whether any remnant of this outbuilding survives. In addition, the watching brief will focus on any other visible activity, including artefacts.

## 3.2 Building Recording

The archaeological mitigation will be undertaken as a Level 2/3 Record, as defined by *Understanding Historic Buildings: A Good to Good Recording Practice* (Historic England, 2016). The client will be responsible for access and for removing any obstructing vegetation or materials.

A Level 2/3 record is characterised in *Understanding Historic Buildings* as a descriptive and analytical record (Historic England, 2016: 26), and will incorporate the building exterior and interior, for which a photographic record, written record and drawn record will be completed.

### 3.2.1 Photographic Record

The photographic record will include *Understanding Historic Buildings* photographic elements 1, 2, 4, 5, 7 and 8 (Historic England, 2016: 26) and include general views of the cottage within the local area, exterior and interior elevations - oblique and face-on (where practical), a record of the overall appearance of the interior, a record of any inscriptions, signage, or graffiti; contents that have a bearing on the building's history and a record of key structural detail. Suitable scales and artificial lighting will be used. Photographic images will be taken using a digital SLR (Nikon D5100) camera set to maximum resolution (4928 × 3264; 16.2 effective megapixels) in RAW format and a GoPro Hero 5 camera set to a maximum resolution of 4,000 × 3,000 (12 effective megapixels) in JPEG format. Camera tripods and poles will be used for the elevations and where practical elsewhere. A photographic record will be maintained on site using GAT pro-formas ([Appendix III](#)) and digitised in Microsoft Excel and Access as part of the fieldwork archive and dissemination process; the archive numbering system will start from G2623\_001. The location and orientation of photographs taken will be recorded on a scaled plan and digitised for final reporting. The photographic images will then be converted to TIFF for final archiving using Adobe Photoshop. Main access will be from Beach Road, with access to the interior limited to the main front door; rear access will be via steps on the northern side of the property.

### 3.2.2 Written Record

The written record will include *Understanding Historic Buildings* report elements 1-3, 5-9 and 17; as well as 18, 20 and 21, if applicable (Historic England, 2016: 26). This will include a description of the visible form, function, construction and any phasing of the cottage and will discuss the architectural and historical context and significance of the building in terms of its location and historical associations, as well as its setting. Any evidence for the former

existence of demolished structures will be included, as well as an account of the building's past and present use. The Level 2/3 written record will be completed using a basic record pro-forma and a building record pro-forma ([Appendix I](#) and [Appendix II](#) respectively). The basic record pro-forma will be used to record the exterior and interior elevations, as well as key structural details, including the trusses. The building record pro-forma will be used to record any individual rooms. Key dimensions will be completed using a *Leica DISTO* laser measurer and detailed measurements using appropriate hand tapes.

### 3.2.3 *Drawing Record*

Measured drawings will be prepared in accordance with *Understanding Historic Buildings* drawing elements 2 and 7 and 8 (Historic England, 2016: 26). This will include a location plan, incorporating the location/orientation of photographs taken and an annotated measured plan that will include the form and location of key structural features and fixtures. Any measured drawings deemed necessary will be completed using a combination of on-site recording including photography and GAT pro-forma permatrace and off-site digitisation using *Adobe Illustrator*. Existing *Russell-Hughes Cyf.* architectural drawings will be consulted, but will be checked for accuracy at the time of record; relevant information from these will then be extracted into separate figures to allow annotation as required for reporting.

### 3.3 Watching Brief

An archaeological watching brief is defined by the Chartered Institute for Archaeologists as a formal programme of observation and investigation conducted during any operation carried out for non-archaeological reasons where there is a possibility that archaeological deposits may be disturbed or destroyed. The programme will result in the preparation of a report and ordered archive (CIfA, 2014).

An archaeological watching brief can be divided into four categories:

- comprehensive (present during all ground disturbance)
- intensive (present during sensitive ground disturbance)
- intermittent (viewing the trenches after machining)
- partial (as and when seems appropriate).

GAPS have requested that the archaeological watching brief is undertaken on an **intensive** basis during renovation to the existing property and on foundation level groundworks in the rear plot. The results from the watching brief will be incorporated with the Level 2/3 building record into a single archaeological mitigation report.

The principal contractor for the works has not been appointed at the time of writing (June 2019) and the start date and duration of the works has not been confirmed, but is expected from September 2019.

- The watching brief will monitor all groundworks within or likely to disturb archaeological deposits down to the limit of excavation, defined as either an archaeological horizon, the specific groundworks dig depth or the glacial horizon, whichever is encountered first;
- Intrusive groundworks undertaken by a mechanical excavator within, or likely to disturb, archaeological deposits will be undertaken by an excavator fitted with a toothless bucket where practicable;

- The archaeologist must be allowed to halt the works to investigate and record any archaeological deposits or features exposed and be allowed sufficient time to do so;
- If additional resources are required to fully uncover and record archaeological deposits the client, the principal contractor's site manager and the GAT project manager will be notified;
- During the watching brief all attendances and any identified features will be recorded using GAT watching brief pro-formas ([Appendix IV](#));
- Photographic images will be taken using a digital SLR (Nikon D40) camera set to maximum resolution (3008 × 2000 6.1 effective megapixels) in RAW format; a photographic record will be maintained on site using GAT pro-formas ([Appendix III](#)) and digitised in *Microsoft Access* as part of the fieldwork archive and dissemination process. Photographic images will be archived in TIFF format using Adobe Photoshop; the archive numbering system continue from the numbering system used of the building record. When practical, a photographic ID board will be used during the watching brief inspection to record site code, image orientation and any relevant context numbers;
- Any subsurface features will be recorded photographically, with detailed notations and a measured survey (completed using a *Trimble R8* GPS unit);
- Any archaeological features/deposits/structures encountered will be manually cleaned and examined to determine extent, function, date and relationship to adjacent activity. The following excavation strategy will generally apply: 50% sample of each sub-circular feature, 10% sample of each linear feature (terminal ends and intersection points with other features will be prioritised). However, if discrete features are identified these will be 100% excavated as will any exposed segments of linear features. *In the event of the identification of extensive/complex remains, additional time, resourcing and costs may be required for GAT to complete an appropriate programme of works;*
- Any required plans or sections to be drawn at a minimum 1:10 scale using GAT A4, A3 or A2 pro-forma permatrace;

- Should dateable artefacts, human remains and/or ecofacts be recovered, an **interim report** will be submitted summarising the results of the watching brief, along with an assessment of potential for analysis post-excavation project design (in line with the MAP2 process). *Additional time, resourcing and costs will be required to undertake any post-excavation programme of works.*

### 3.4 Human Remains

If any human remains are encountered and cannot be preserved in situ they will be excavated in accordance with the appropriate regulations and with due regard for health and safety issues. In order to excavate human remains, a Ministry of Justice licence is required under Section 25 of the Burials Act 1857 for the removal of any body or remains of any body from any place of burial. In accordance with the Ministry of Justice licence, recovered remains will be reburied once the investigation and/or assessment/analysis are complete.

Non-fragmented skeletal remains will be excavated using wooden tools and collected and stored in polyethylene bags (with appropriate references for context, grave number, et al) and placed in a lidded cardboard archive box (note: separate boxes for each grave) and stored in a suitable manner within GAT premises. If significant quantities of human remains are encountered, a human osteologist should be contacted and appointed to advise the team during the fieldwork. The osteologist will be an external appointment: Dr. Genevieve Tellier | Tel: 01286 238827 | email: [northwalesosteology@outlook.com](mailto:northwalesosteology@outlook.com) who will assist in devising the excavation, recording and sampling strategy for features containing human remains. The osteologist should also help to ensure that adequate post-excavation processing of human remains is carried out so that the material is in a fit state for assessment during the post-excavation stage. For inhumations, this will involve washing, drying, marking and packing.

If human remains are recovered that are deemed suitable for further assessment/analysis, this will be completed in accordance with the osteologist's requirements and with *Human Bones from Archaeological Sites Guidelines for producing assessment documents and analytical reports* (Chartered Institute for Archaeologists, 2017).



### **3.5 Ecofacts**

Should any deposits deemed suitable for dating be identified, they will be taken from sealed contexts, with not less than 40 litres for bulk samples. The sampling strategy will be undertaken in accordance with the principles set out in *Environmental Archaeology: a guide to the theory and practice of methods, from sampling and recovery to post-excavation* (English Heritage, 2011). Recourse will be made to relevant specialists for palaeoenvironmental analysis and dating (AOC Archaeology | telephone: 0208 843 7380) for advice on a palaeoenvironmental assessment and analysis strategy.

For any ecofact samples taken from human burials, this will be completed in accordance with an appointed osteologist's guidance.

### 3.6 Artefacts

Diagnostic artefacts and artefacts from sealed deposits will be retained for further examination and identification; this will include pottery sherds of 18<sup>th</sup> and 19<sup>th</sup> century date that may be contemporary with the operation of the cottage. The artefacts will be treated according to guidelines issued by the UK Institute of Conservation, in particular the advice provided within *First Aid for Finds* (Watkinson and Neal 2001).

Any waterlogged artefacts (e.g. wood or leather) that are to be recovered for post-excavation assessment and analysis will be processed in accordance with *Environmental Archaeology: a guide to the theory and practice of methods, from sampling and recovery to post-excavation* (English Heritage, 2011) and specifically in accordance with Brunning and Watson (2010) for waterlogged wood and Historic England (2012) for waterlogged leather. In such cases an external specialist will be contacted to agree an appropriate sampling and recovery strategy via Lucy Whittingham | Project Manager (post-excavation) | AOC Archaeology | telephone: 0208 843 7380 | email: [lucy.whittingham@aocarchaeology.com](mailto:lucy.whittingham@aocarchaeology.com)).

All finds are the property of the landowner; however, it is Trust policy to recommend that all finds are donated to an appropriate museum, in this case Oriel Ynys Môn, where they can receive specialist treatment and study. Access to finds must be granted to the Trust for a reasonable period to allow for analysis and for study and publication as necessary. Trust staff will undertake initial identification, but any additional advice would be sought from a wide range of consultants used by the Trust, including National Museums and Galleries of Wales at Cardiff. GAT will contact the landowner for agreement regarding the transfer of artefacts, initially to GAT and subsequently to the relevant museum (Oriel Ynys Môn, Rhosmeirch, Llangefni, LL77 7TQ ). A GAT produced pro-forma will be issued to the landowner where they are given the option to donate the finds or to record that they want them returning to them once analysis and assessment has been completed. If artefacts are transferred to Oriel Ynys Môn, this must be in accordance with the Oriel Ynys Môn – *Guidelines for the preparation and deposition of archaeological archive* (2012).

All finds of treasure must be reported to the coroner for the district within fourteen days of discovery or identification of the items. Items declared Treasure Trove become the property of the Crown, on whose behalf the National Museums and Galleries of Wales acts as advisor on technical matters, and may be the recipient body for the objects.

GAT will contact the landowner (client) for agreement regarding the transfer of artefacts, initially to GAT and subsequently to the relevant museum (Oriel Ynys Môn). A GAT produced pro-forma will be issued to the landowner where they are given the option to donate the finds or to record that they want them returning to them once analysis and assessment has been completed. Artefacts will be transferred to the Oriel Ynys Môn in accordance with their current guidelines.

### 3.7 Fieldwork Archiving

Following the completion of the fieldwork, a programme of fieldwork archiving will be completed based on following task list;

1. Pro-formas: all cross referenced and complete;
2. Photographic Metadata: completed in *Microsoft Excel* and *Access* and cross-referenced with all pro-formas;
3. Measured drawings (permatrace): all cross referenced and complete;
4. Project register (*Microsoft Excel* format): drawing reference data to be quantified and completed;

All data will be processed, final illustrations will be compiled and a report will be produced which will detail and synthesise the results.

### **3.8 PROCESSING DATA, ILLUSTRATION, REPORT AND ARCHIVING**

Following completion of the stages outlined above, a report will be produced within one month incorporating the following:

1. Non-technical summary (Welsh and English)
2. Introduction
3. Background
4. Methodology
5. Results
6. Conclusion
7. List of sources consulted.
8. Appendix I – approved GAT project specification
9. Appendix II – photographic metadata

## 4 DISSEMINATION AND ARCHIVING

A full archive including plans, photographs, written material and any other material resulting from the project will be prepared. The start date is to be confirmed; a draft report will be submitted within one month of fieldwork completion and a final report will be submitted to the regional Historic Environment Record within six months of project completion.

The following dissemination will apply:

- A digital report(s) will be provided to the client/consultant and GAPS (draft report then final report);
- A paper report plus a digital report will be provided to the regional Historic Environment Record; this will be submitted within six months of project completion (final report only), along with any relevant, digital information such as the project database and photographs. All digital datasets submitted will conform to the required standards set out in *Guidance for the Submission of Data to the Welsh Historic Environment Records (HERs)* (Version 1.1); and
- A digital report and archive (including photographic and drawn) data will be provided to Royal Commission on Ancient and Historic Monuments, Wales (final report only), in accordance with the *RCAHMMW Guidelines for Digital Archives Version 1*. Digital information will include the photographic archive and associated metadata.

## **5 PERSONNEL**

The project will be managed by John Roberts, Principal Archaeologist GAT Contracts Section with attendances on-site undertaken by a team of GAT Project Archaeologists. The lead Project Archaeologist will be responsible for all field management duties, e.g., GAPS liaison, client liaison, coordination and delegation of tasks. The lead Project Archaeologist will be responsible for supervising the completion of all on site pro-formas and the fieldwork archive itemised in para. 4.7., as well as for submitting a draft final report (or interim report) for project manager review and approval. The report will then be submitted as per the arrangements defined in para. 5.

## **6 HEALTH AND SAFETY**

The GAT Project Archaeologists on site will be CSCS and *Working at Height* certified. A site specific risk assessment will be prepared and will be reviewed by the GAT Project Archaeologists in advance of works, with any additional risks identified on site highlighted in the dynamic risks section and appropriate mitigation undertaken. All GAT staff will be issued with required personal safety equipment, including high visibility jacket, steel toe-capped boots and safety helmet. All site work will be managed and undertaken in accordance with the GAT Health & Safety Policy, Manual and Handbook.



## **7 SOCIAL MEDIA**

One of the key aims in the GAT mission statement is to improve the understanding, conservation and promotion of the historic environment in our area and inform and educate the wider public. To help achieve this, GAT maintains an active social media presence and seeks all opportunities to promote our projects and results. With permission, GAT would like the opportunity to promote our work on this scheme through our social media platforms. This could include social media postings during our attendance on site as well as any postings to highlight results. In all instances, approval will be sought from client prior to any postings.

## **8 INSURANCE**

### **8.1 Public/Products Liability**

Limit of Indemnity- £5,000,000 any one event in respect of Public Liability

INSURER Aviva Insurance Limited

POLICY TYPE Public Liability

POLICY NUMBER 24765101CHC/UN/000375

EXPIRY DATE 21/06/2020

### **8.2 Employers Liability**

Limit of Indemnity- £10,000,000 any one occurrence.

The cover has been issued on the insurers standard policy form and is subject to their usual terms and conditions. A copy of the policy wording is available on request.

INSURER Aviva Insurance Limited

POLICY TYPE Employers Liability

POLICY NUMBER 24765101 CHC / UN/000375

EXPIRY DATE 21/06/2020

### **8.3 Professional Indemnity**

Limit of Indemnity- £5,000,000 in respect of each and every claim

INSURER Hiscox Insurance Company Limited

POLICY TYPE Professional Indemnity

POLICY NUMBER 9446015

EXPIRY DATE 22/07/2019

## 9 SOURCES CONSULTED

1. Chartered Institute for Archaeologists, 2014, Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures
2. Chartered Institute for Archaeologists, 2014, Standard and guidance for the collection, documentation, conservation and research of archaeological materials
3. Chartered Institute for Archaeologists, 2014, Standard and Guidance for Archaeological Watching Brief
4. English Heritage, 1991, Management of Archaeological Projects (MAP2)
5. Historic England, 2015, Management of Research Projects in the Historic Environment (MoRPHE)
6. Historic England, 2016. *Understanding Historic Buildings: A Good to Good Recording Practice*
7. Ordnance Survey First Edition 1-inch to 25-mile County Series Map Sheet XIX.11; published in 1889.
8. Ordnance Survey First Edition 1-inch to 25-mile County Series Map Sheet XIX.11; published in 1900.
9. Ordnance Survey First Edition 1-inch to 25-mile County Series Map Sheet XIX.11; published in 1914.
10. Oriel Ynys Mon, 2012. *Guidelines for the preparation and deposition of archaeological archive.*
11. Royal Commission on Ancient and Historic Monuments of Wales, 2015, Guidelines for digital archives
12. St. Paul, J. 2017. *Heritage Impact Statement. Regarding: The Impact on the Heritage Asset of Proposed Works at Ferryman's Cottage, Beach Road, Menai Bridge, Ynys Mon.*
13. The Welsh Archaeological Trusts, 2018. *Guidance for the Submission of Data to the Welsh Historic Environment Records (HERs) Version 1.1.*

## **FIGURE 01**

**Reproduction of Russell-Hughes Cyf Drawing No. 2539-17-1: Location  
Plan. Scale 1:250@A4**



Pattern a symbol masnach gwybodaeth a y ddarparu  
Os ydych chi chi gyswllt  
Os ydych chi chi gyswllt  
Os ydych chi chi gyswllt

Yn ymddiriedolaeth ymddiriedolaeth

Yn ymddiriedolaeth ymddiriedolaeth  
**FERRY MANS COTTAGE,**  
**MENAI BRIDGE**  
Cyllell - Cyllell  
**LOCATION PLAN**

2539:18:1  
1:1250 @ A4  
Dec 2017

**russell-hughes cyf**  
russell-hughes cyf

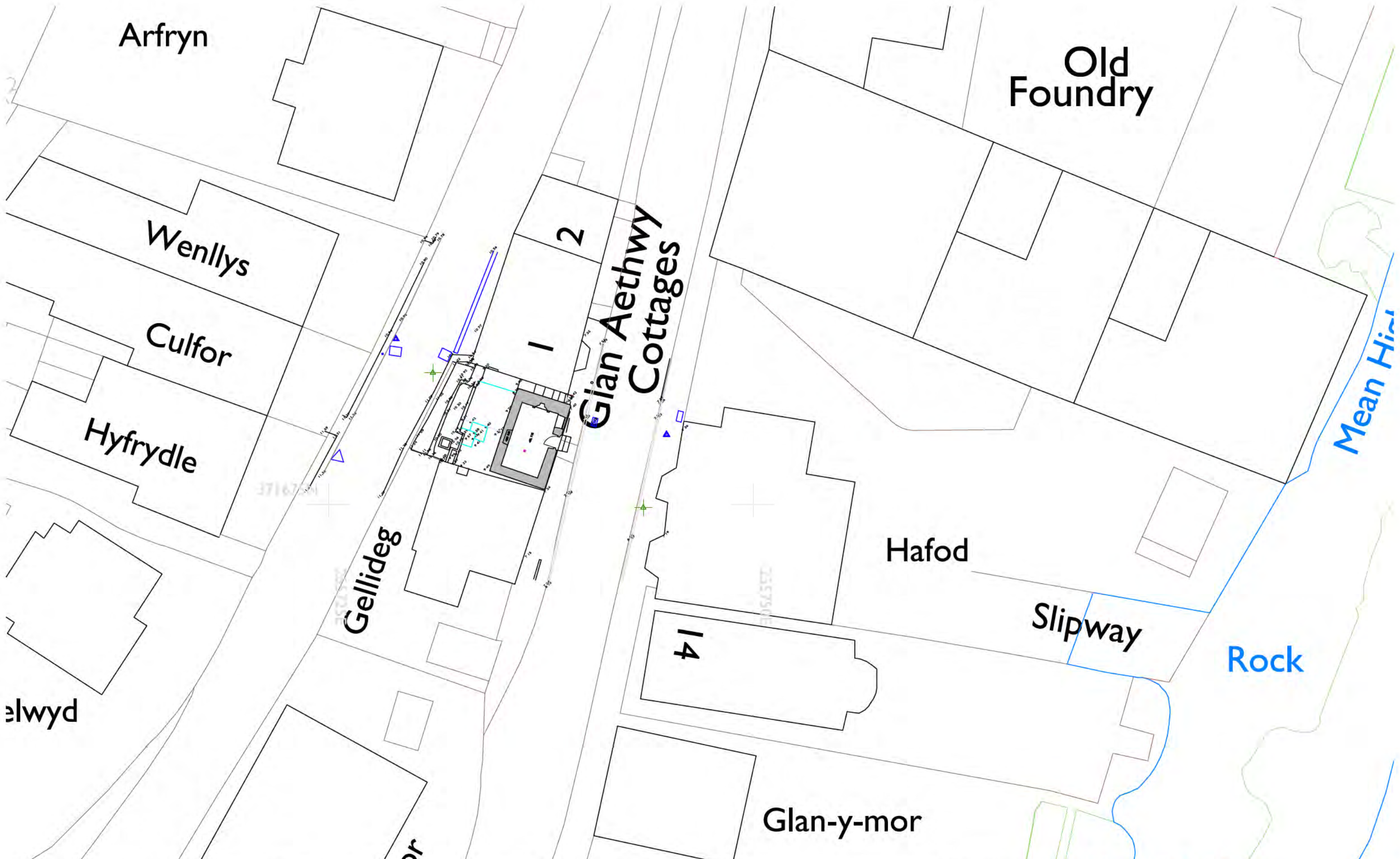
56 Bridge Street,  
Llangefni,  
Ynys Môn  
LL77 7RH

Tel: 01248 722333  
Ffôn: 01248 750600  
E-bost: info@russellhughes.co.uk

## **FIGURE 02**

**Reproduction of Russell-Hughes Cyf Drawing No. 25 39-17-2: Existing Site Plan. Scale 1:200@A3**





Peidiwch a chymryd mesurïadau graddfa oddi ar y dyluniad hwn  
Os yn amau - gofynnwch  
Do not scale from this drawing  
If in doubt - ask

Mae'r dyluniad hwn yn hawffraint Penseiri Russell-Hughes ac ni  
chantateir ei gopïo neu ei atgynhyrchu heb ganiatad  
This drawing is the copyright of Russell-Hughes architects and  
must not be copied or reproduced without permission

Newidiadau - Amendments

Cynllun - Job  
**FERRY MANS COTTAGE,  
MENAI BRIDGE**  
Dyluniad - Drawing  
**SITE PLAN**

Rhif Dyluniad - Drawing No.  
**2539:17:2**  
Graddfa - Scale  
**1:200 @ A3**  
Dyddiad - Date  
**Dec 2017**

**russell-hughes cyf**  
penseiri/architects

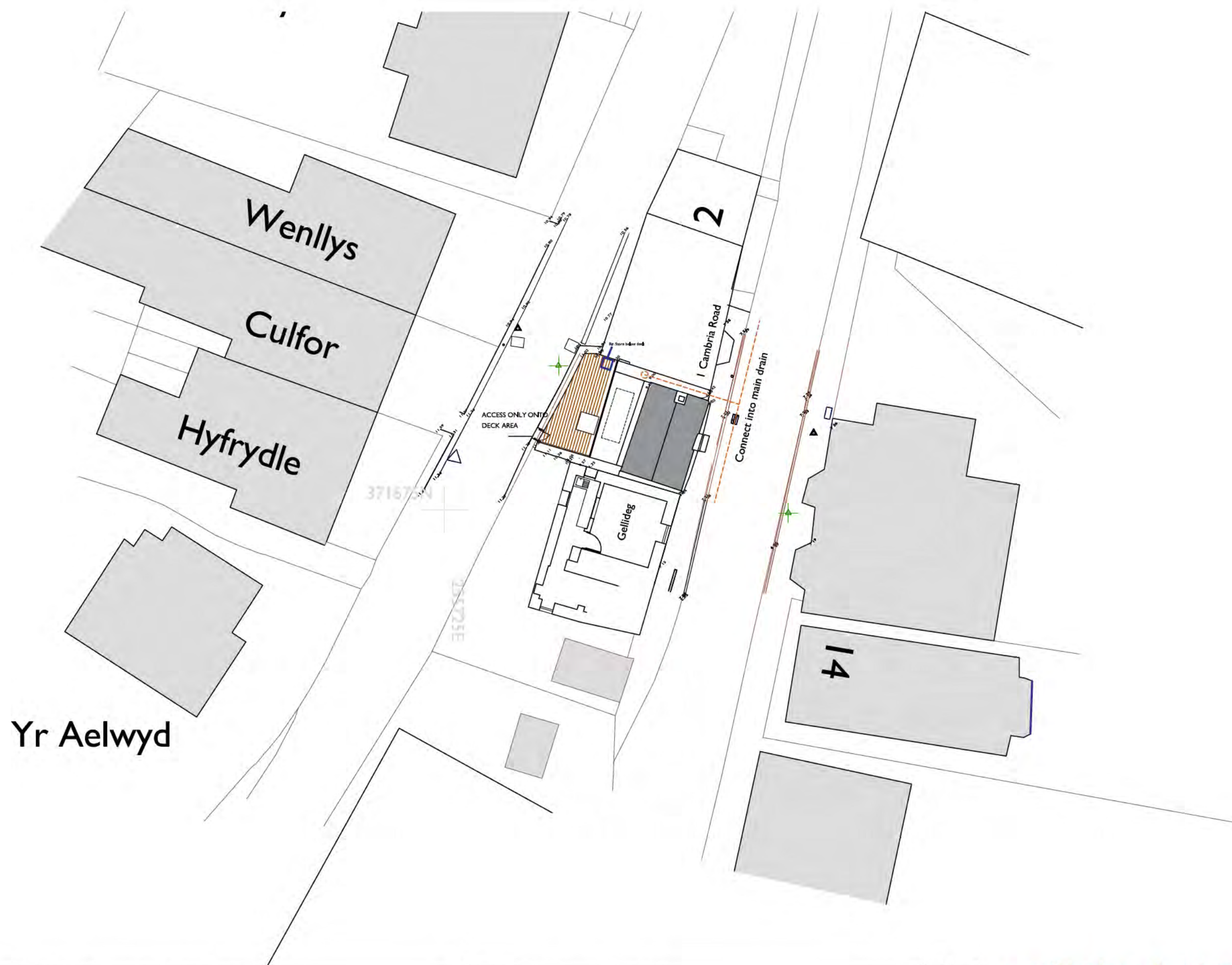
56 Bridge Street,  
Llangefni,  
Ynys Mon  
LL77 7HH

Tel: 01248 722333  
Fax: 01248 750600  
E-mail: [info@russellhughes.co.uk](mailto:info@russellhughes.co.uk)

### **FIGURE 03**

**Reproduction of Russell-Hughes Cyf Drawing No. 2539-17-3a: Proposed  
Site Plan. Scale 1:200@A3**





Peldwch a chymryd mesuriadau graddfa oddi ar y dyluniad hwn  
Os yn amau - gofynnwch  
Do not scale from this drawing  
If in doubt - ask

Mae'r dyluniad hwn yn hawffraint Penseiri Russell-Hughes ac ni  
charifateir ei gopïo neu ei atgynhyrchu heb ganiatad

This drawing is the copyright of Russell-Hughes architects and  
must not be copied or reproduced without permission

Newidiadau - Amendments

Cynllun - Job

**FERRY MANS COTTAGE,  
MENAI BRIDGE**

Dyluniad - Drawing

**PROPOSED SITE PLAN**

Rhif Dyluniad - Drawing No.

**2539:17:3a**

Graddfa - Scale

**1:200 @ A3**

Dyddiad - Date

**Jan 2019**

**russell-hughes cyf**  
penseiri/architects

56 Bridge Street,  
Llangefni,  
Ynys Mon  
LL77 7HH

Tel: 01248 722333  
Fax: 01248 750600  
E-mail: [info@russellhughes.co.uk](mailto:info@russellhughes.co.uk)

## **FIGURE 04**

**Reproduction of Russell-Hughes Cyf Drawing No. 25 39-17-4: Existing Plans. Scale 1:100@A1**

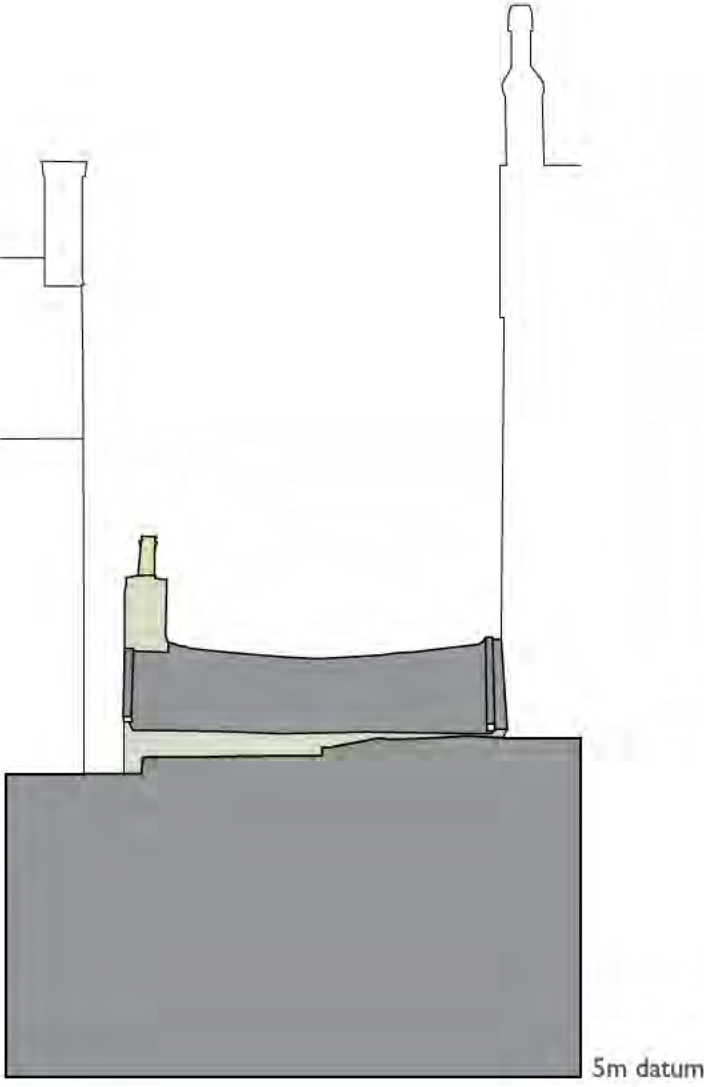
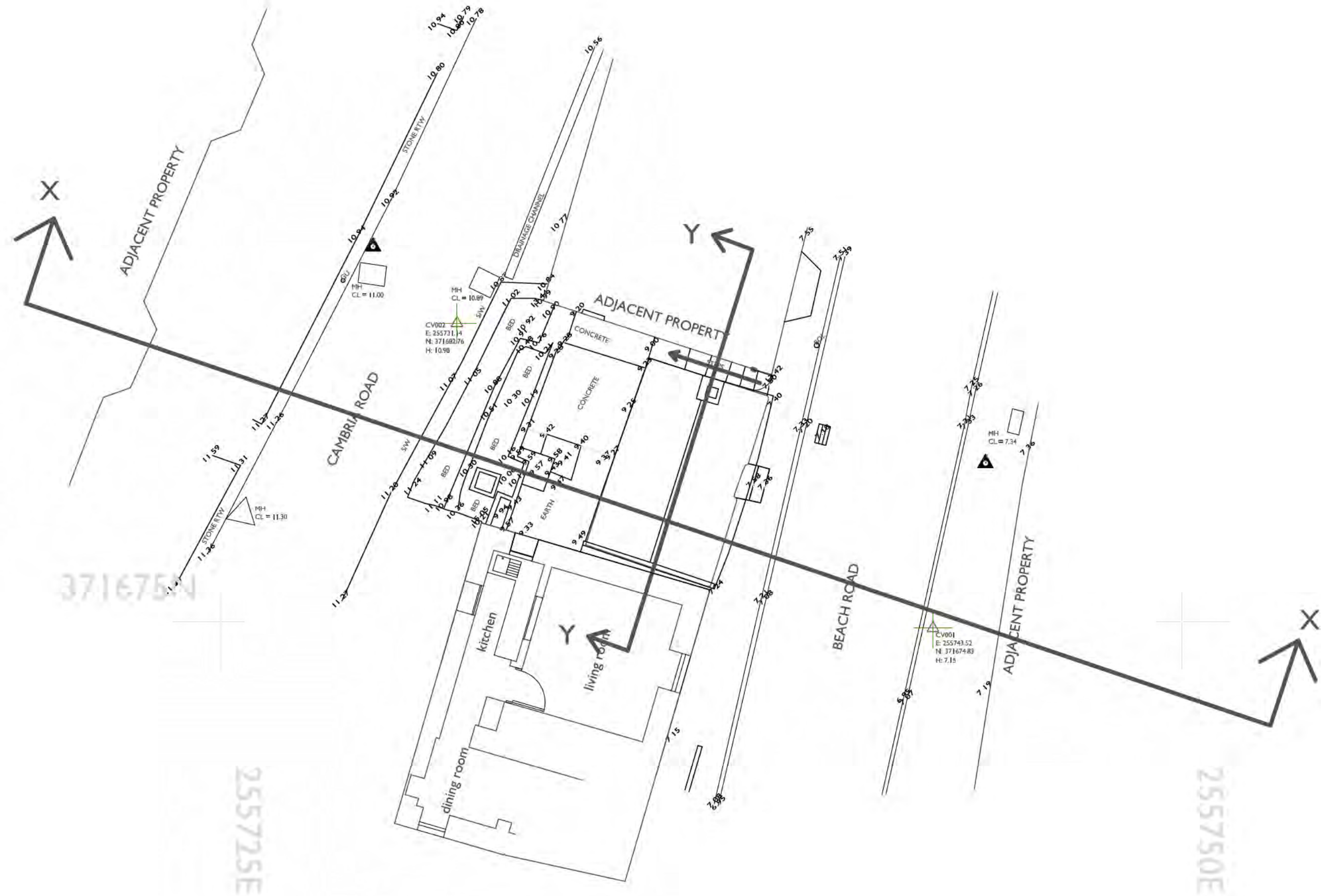




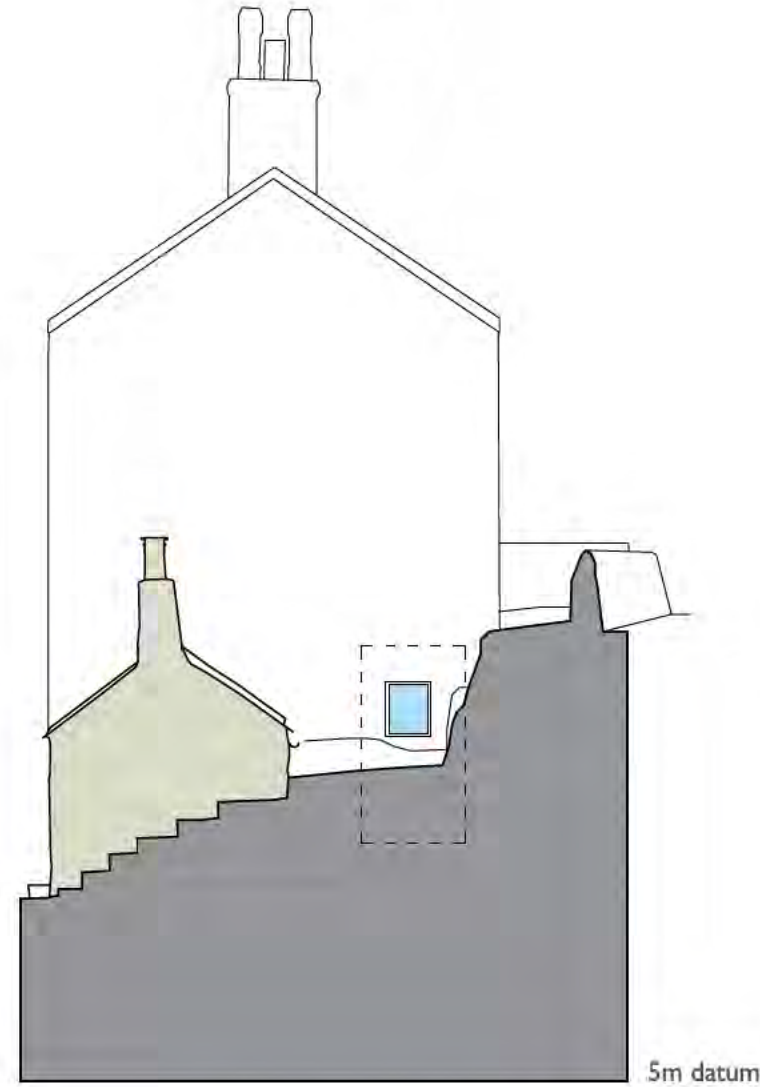
SECTION X-X



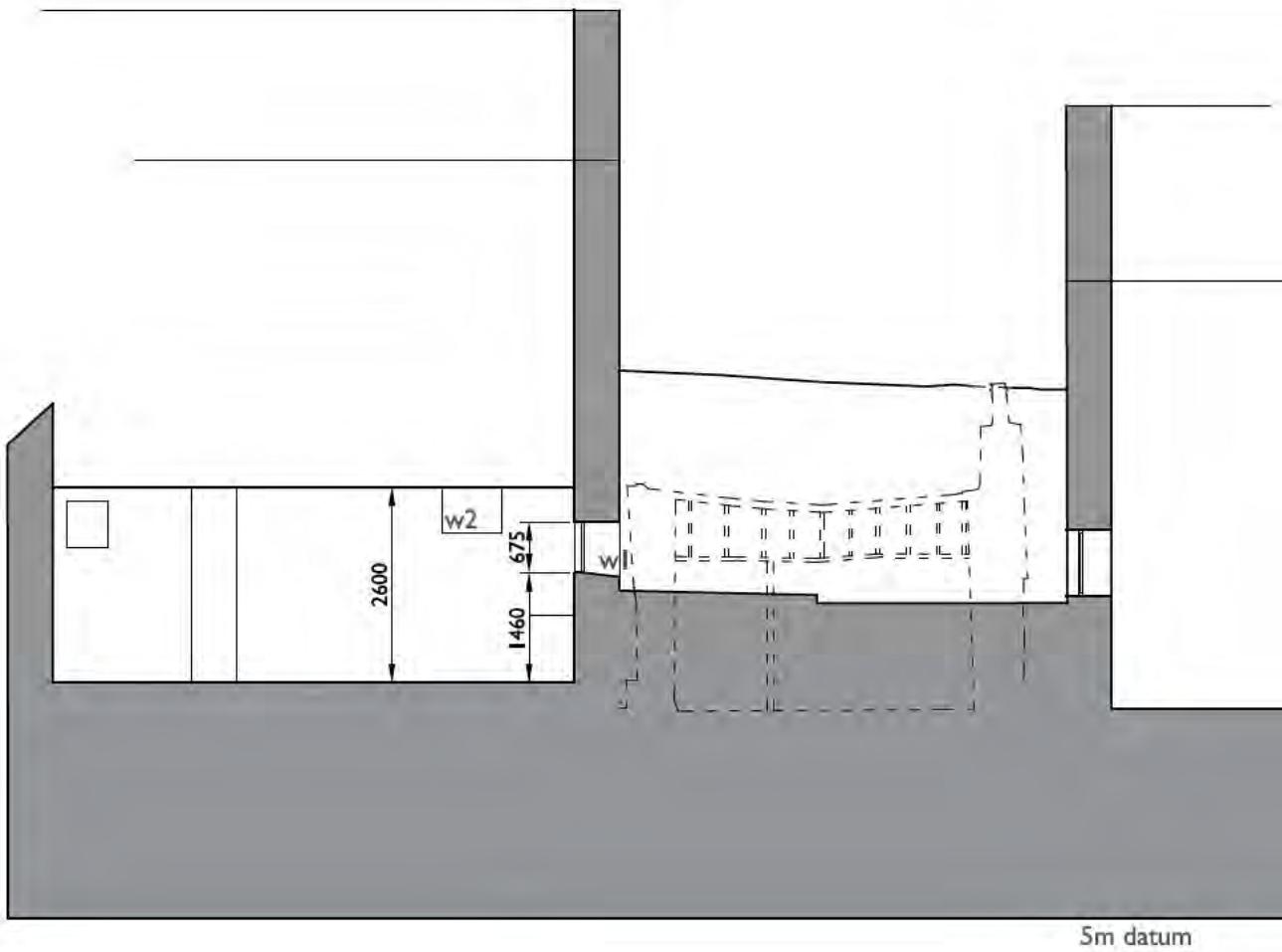
EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



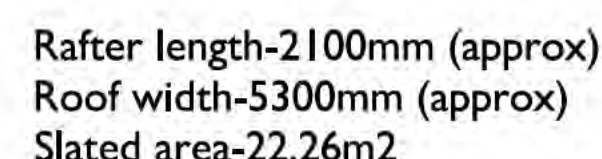
SECTION X-X



## **FIGURE 05**

**Reproduction of Russell-Hughes Cyf Drawing No. 2 539'17'9a: Existing and Proposed Sections. Scale 1:50@A1**







## **FIGURE 06**

**Reproduction of Ordnance Survey Second Edition 1-inch to 25-mile  
County Series Map Sheet XIX.11; published in 1900. Scale 1:1500 @ A4.**



FIGURE 06: Reproduction of Ordnance Survey Second Edition 1-inch to 25-mile County Series Map Sheet XIX.11; published in 1900. Scale 1:1500 @ A4.

## **APPENDIX I**

### **Gwynedd Archaeological Trust Building Record pro-forma**



YMDDIRIEDOLAETH ARCHAEOLEGOL GWYNEDD ARCHAEOLOGICAL TRUST		
BASIC RECORDING FORM	Project name	Project number
Feature name		Feature Number
NGR		
Description		
Recommendations for further assessment		
Photographic record numbers		
Digital		
	Visit date	Visit by

## **APPENDIX II**

### **Gwynedd Archaeological Trust room recording pro-forma**

NOTE: Sketch entire floor level with measurements (overleaf)

YMDDIRIEDOLAETH ARCHAEOLEGOL GWYNEDD ARCHAEOLOGICAL TRUST			
<b>ROOM RECORDING FORM</b>		<i>Project name</i>	<i>Project number</i>
<i>Room Number</i>	<i>Floor /Level</i>		
<i>Description</i>			
<i>Photographic record numbers</i>		<i>Scales used</i>	<i>Dimensions</i> Length Width Height
YMDDIRIEDOLAETH ARCHAEOLEGOL GWYNEDD ARCHAEOLOGICAL TRUST			
<b>ROOM RECORDING FORM</b>		<i>Project name</i>	<i>Project number</i>
<i>Room Number</i>	<i>Floor /Level</i>		
<i>Description</i>			
<i>Photographic record numbers</i>		<i>Scales used</i>	<i>Dimensions</i> Length Width Height
		<i>Visit date</i>	<i>Visit by</i>

## **APPENDIX III**

### **Gwynedd Archaeological Trust photographic metadata pro-forma**



## Digital Photographic Record

Include main context numbers for each shot, drawing numbers for sections and any other relevant numbers for cross referencing.  
Delete any unwanted photos **immediately** from the camera. Regularly upload photographs to computer.

[illegible]



## **APPENDIX IV**

### **Gwynedd Archaeological Trust Watching Brief pro-forma**

YMDDIRIEDOLAETH ARCHAEOLEGOL GWYNEDD ARCHAEOLOGICAL TRUST		
WATCHING BRIEF DAY RECORD		Date
Project name	Project number	Compiler
Location		
Description		
Times of travelling and on-site		
Drawn record details		
Photographic record details		

## **APPENDIX V**

**Reproduction of Decision Notice LBC/2018/4**



**Penseiri Russell-Hughes  
Mr Arwel Thomas 56 Bridge Street  
Llangefni  
LL77 7HH**

**DEWI FRANCIS JONES MSc, M.R.T.P.I**  
Prif Swyddog Cynllunio – Rheoleiddio a Datblygu  
Economaidd  
Chief Planning Officer – Regulation and Economic  
Development

CYNGOR SIR YNYS MÔN  
ISLE OF ANGLESEY COUNTY COUNCIL  
Swyddfeydd y Cyngor • Council Offices  
LLANGEFNI  
Ynys Môn • Isle of Anglesey  
LL77 7TW

ffôn / tel: (01248) 752428

Gofynnwch am / Please ask for: **Keith Williams**  
☎  
e-mail: keithwilliams@ynysmon.gov.uk

Cais Rhif / App. No. **LBC/2018/4**

## **DEDDF CYNLLUNIO GWLAD A THREF 1990 / TOWN AND COUNTRY PLANNING ACT 1990**

**Caniatâd Adeilad Rhestredig ar gyfer newid defnydd adeilad yn annedd ynghyd a addasu ac ehangu yn /  
Listed Building Consent for conversion of building into dwelling together with alterations and extensions at  
Ferrymans Cottage, Porthaethwy/Menai Bridge**

### **RHYBUDD PENDERFYNIAD**

***Darllenwch yr amodau a restrir isod yn ofalus os gwelwch yn dda, efallai y bydd angen cyflawni rhai o'r amodau cyn, neu yn ystod, y gwaith datblygu.***

Mae eich cais wedi cael ei ystyried gan y Cyngor yn unol â'i awdurdod dan y Ddeddf uchod, a rhoddwyd **CANIATÂD** gyda'r amodau canlynol:-

**(01) Rhaid cychwyn ar y datblygiad yr ymwna'r caniatâd hwn a fo o fewn pum mlynedd i ddyddiad y caniatâd hwn.**

Rheswm: I gydymffurfio gyda gofynion Adran 91(1) o'r Ddeddf Cynllunio Gwlad a Thref 1990 (fel y diwygiwyd).

**(02) Bydd gwaith ar y datblygiad a ganiateir yma yn cael ei gyflawni mewn modd a fydd yn cydymffurfio'n llwyr â'r manylion a ddangosir ar y cynlluniau a nodir isod, manylion sydd wedi eu cynnwys mewn unrhyw ddogfennau a gyflwynwyd gyda chais o'r fath oni bai eu bod wedi eu cynnwys yn narpariaethau'r amodau sy'n rhan o'r caniatâd cynllunio hwn.**

**Datganiadau o'r Effaith ar Dreftadaeth  
Cynllun Lleoliad / 12539:18:1:  
Cynllun Safle Arfaethedig / 12539:17:3:  
Cynllun Llawr Gwaelod Arfaethedig / 12539:17:7:  
Cynllun Llawr Cyntaf Arfaethedig / 12539:17:8:  
Trawsdoriad Arfaethedig / 12539:17:9: Adolygiad 'A'  
Edrychiadau Arfaethedig / 12539:17:10: Adolygiad 'A'  
Cynllun Safle / 2539:17:2:  
Cynlluniau Presennol / 2539:17:4:  
Edrychiadau Mewnol Arfaethedig / 2539:17:7:  
Manylion Ffenestri a Drysau Arfaethedig / 2539:17:12: Adolygiad 'A'  
Datganiadau Dylunio a Mynediad / 2539:17:18:**

Rheswm: Sicrhau bod y datblygiad yn cael ei weithredu'n unol â'r manylion a gymeradwywyd.



**(03) Cyn i'r gwaith gychwyn bydd y darluniau croestoriad 'Presennol' ac 'Arfaethedig' a manylion mewn perthynas â'r to/nenfwd yn cael eu cymeradwyo yn ysgrifenedig gan yr Awdurdod Cynllunio Lleol. Bydd y gwaith yn cael ei wneud yn llwyr yn unol â'r cyfryw ddarluniau a manylion a gymeradwywyd.**

Rheswm: Er mwyn sicrhau fod sylw arbennig yn cael ei roi i ddiogelu diddordeb pensaernïol a hanesyddol ac uniondeb yr adeilad dan Adran 16 Deddf Cynllunio 1990 (Adeiladau Rhestredig ac Ardaloedd Cadwraeth).

**(04) Ni fydd unrhyw ddatblygiad (yn cynnwys stripio'r safle, clirio'r safle a gwaith daear) yn cymryd lle nes bod rhaglen o waith archeolegol wedi'i chyflwyno i'r Awdurdod Cynllunio Lleol ac wedi cael ei chymeradwyo'n ysgrifenedig ganddo. Bydd y datblygiad a'r holl waith archeolegol yn cael ei wneud yn unol â'r manylion a gymeradwywyd.**

Rheswm: Sicrhau fod rhaglen liniaru archeolegol briodol yn cael ei gweithredu yn unol â gofynion Polisi Cynllunio Cymru 2016 a TAN24: Yr Amgylchedd Hanesyddol.

**(05) Bydd adroddiad manwl ar y gwaith archeolegol, yn unol ag amod (04), yn cael ei gyflwyno i'r Awdurdod Cynllunio Lleol a'i gymeradwyo ganddo o fewn 6 mis i gwblhau'r gwaith maes archeolegol.**

Rheswm: Sicrhau y bydd y gwaith yn cydymffurfio â Rheoli Prosiectau Archeolegol (MAP2) a Safonau a Chanllawiau Sefydliad Siartredig yr Archeolegwyr (ClfA).

Y cynllun datblygu sy'n berthnasol i Ynys Môn yw'r Cynllun Datblygu Lleol ar y Cyd Gwynedd a Môn (2017). Roedd y polisïau canlynol yn berthnasol i'r sylw a roddwyd i'r cais hwn: PCYFF3, PCYFF4, PS20 a AT1.

---

## **NOTICE OF DECISION**

***Please read the conditions listed below carefully, some conditions may require to be discharged prior to or during development.***

Your application has been considered by the Council in accordance with its authority under the above Act and permission has been **GRANTED** with the following conditions:-

**(01) The development shall begin not later than five years from the date of this decision.**

Reason: To comply with the requirements of Section 91(1) of the Town and Country Planning Act 1990.

**(02) The development hereby permitted shall be carried out in strict conformity with the details shown on the plans below, contained in the form of application and in any other documents accompanying such application unless included within any provision of the conditions of this planning permission.**

**Heritage Impact Assessment (HIA)**

**Location Plan / 12539:18:1:**

**Proposed Site Plan / 12539:17:3:**

**Proposed Ground Floor Plan / 12539:17:7:**

**Proposed First Floor Plan / 12539:17:8:**

**Proposed Section /12539:17:9: Rev 'A'**

**Proposed Elevations / 12539:17:10: Rev 'A'**

**Site Plan / 2539:17:2:**

**Existing Plans / 2539:17:4:**

**Proposed Internal Elevations / 2539:17:7:**

**Proposed Window and Door Detail / 2539:17:12: Rev 'A'**

**Design Access Statement (DAS) / 2539:17:18:**

Reason: To ensure that the development is implemented in accord with the approved details.

**(03) Before work begins proposed 'As Existing' and 'As Proposed' cross-section drawings and details in respect of the roof/ceiling shall be approved in writing by the Local Planning Authority. The work shall be carried out in full in accordance with such approved drawings and details.**

Reason: To ensure that special regard is paid to protecting the special architectural and historic interest and integrity of the building under Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

**(04) No development (including stripping out, site clearance or groundworks) shall take place until a specification for a programme of archaeological work has been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out and all archaeological work completed in strict accordance with the approved details.**

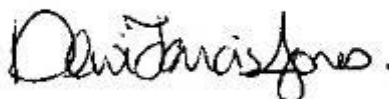
Reason: To ensure the implementation of an appropriate programme of archaeological mitigation in accordance with the requirements of Planning Policy Wales 2016 and TAN24: The Historic Environment.

**(05) A detailed report on the archaeological work, as required by condition (04), shall be submitted to and approved in writing by the Local Planning Authority within 6 months of the completion of the archaeological fieldwork.**

Reason: To ensure that the work will comply with Management of Archaeological Projects (MAP2) and the Standards and Guidance of the Chartered Institute for Archaeologists (CIfA).

The development plan covering Anglesey is the Anglesey and Gwynedd Joint Local Development Plan (2017). The following policies were relevant to the consideration of this application: PCYFF3, PCYFF4, PS20 and AT1.

DYDDIAD Y PENDERFYNIAD **13/02/2019** DATE OF DECISION



**DEWI FRANCIS JONES**  
**PRIF SWYDDOG CYNLLUNIO / CHIEF PLANNING OFFICER**

**Croeso i chi ddelio gyda'r Cyngor yn Gymraeg neu'n Saesneg. Cewch yr un safon o wasanaeth yn y ddwy iaith.**  
**You are welcome to deal with the Council in Welsh or English. You will receive the same standard of service in both languages.**

## Nodiadau i'w cyflwyno hefo Hysbysiadau Penderfyniadau

**Systemau Draenio Cynaliadwy (SDCau)** - Bydd angen systemau draenio cynaliadwy ar gyfer pob datblygiad newydd o fwy nac 1 tŷ neu lle mae'r arwynebedd adeiladu yn 100m<sup>2</sup> neu fwy er mwyn rheoli dŵr wyneb ar y safle. Mae'n rhaid i systemau draenio dŵr wyneb gael eu dylunio a'u hadeiladu yn unol â safonau gofynnol ar gyfer draenio cynaliadwy a gyhoeddwyd gan Weinidogion Cymru. Mae Atodlen 3 o Ddeddf Rheoli Llifogydd a Dŵr (DRhLID) 2010 yn gorchymyn bod rhaid i systemau draenio dŵr wyneb ar gyfer datblygiadau newydd gydymffurfio â Safonau Cenedlaethol gorfodol ar gyfer draenio cynaliadwy (SDCau). Mae'n rhaid i'r systemau hyn gael eu cymeradwyo gan Gyngor Sir Ynys Môn yn ei rôl fel Corff Cymeradwyo SDCau (CCS) cyn i'r gwaith adeiladu gychwyn. Os hoffech ragor o wybodaeth am y broses newydd hon, cysylltwch â [pemht@ynysmon.gov.uk](mailto:pemht@ynysmon.gov.uk) neu gwelwch <https://gov.wales/topics/environmentcountryside/epq/flooding/drainage/?skip=1&lang=cy>

**Rheoliadau Adeiladu** – Nid penderfyniad dan y Rheoliadau Adeiladu mo hwn a dylai ymgeiswyr sicrhau eu bod wedi cael yr holl ganiatadau angenrheidiol ar gyfer yr un cynnig a'r un cynlluniau cyn cychwyn unrhyw waith ar y safle. Gweler <http://www.ynysmon.gov.uk/cynllunio-a-gwastraff/rheoli-adeiladu/> am ragor o wybodaeth.

**Cyflawni Amodau** – Os ydyw eich cais wedi cael ei ganiatáu gydag amodau, yna rhaid i unrhyw amodau y mynnwyd arnynt cyn cychwyn ar y gwaith, gael eu cyflawni'n ffurfiol drwy ffurflen gais cyn cychwyn ar y gwaith. Gellir cael ffurflenni cais drwy [http://www.ynysmon.gov.uk/Journals/public/attachments/90/1APP\\_Forms\\_CymraegPublic\\_Version.pdf](http://www.ynysmon.gov.uk/Journals/public/attachments/90/1APP_Forms_CymraegPublic_Version.pdf)

**Diwygio eich caniatâd** (nid yw hyn ond yn ymwneud â chaniatadau cynllunio) – Os ydych eisiau newid rhai o'r manylion ar eich caniatâd cynllunio a'r rheini fe ystyrir yn fân-newidiadau yn unig, gallwch ymgeisio am Ddiwygiad Ansylweddol. Gellir cytuno ar newidiadau eraill drwy gyflwyno cais ffurfiol i Amrywio amod neu drwy gyflwyno Cais Cynllunio newydd. Gellir cael ffurflenni cais drwy [http://www.ynysmon.gov.uk/Journals/public/attachments/90/1APP\\_Forms\\_CymraegPublic\\_Version.pdf](http://www.ynysmon.gov.uk/Journals/public/attachments/90/1APP_Forms_CymraegPublic_Version.pdf)

**Glynu wrth amodau/cynlluniau a gymeradwywyd** – Bydd methiant i lynu wrth fanylion cynlluniau a gymeradwywyd neu i gydymffurfio gydag amodau yn tynnu'n groes i Ddeddf Cynllunio Gwlad a Thref 1990 a gellir cymryd camau gorfodaeth yn y fath achosion.

### Hawl i Apelio

Os ydych yn teimlo eich bod wedi cael cam oherwydd bod cais wedi ei wrthod neu am fod amodau wedi eu gosod ar gais, gallwch gyflwyno apêl i'r Arolygiaeth Gynllunio yn Adeiladau'r Goron, Parc Cathays, Caerdydd CF10 3NQ neu ar-lein yn <https://www.gov.uk/government/organisations/planning-inspectorate>. Rhaid gwneud apeliadau ar y ffurflen gywir ar gyfer y math o gais a gyflwynwyd gennych. Bydd gwybodaeth a ddarperir fel rhan o broses apelio'n cael ei chyhoeddi ar-lein. Dim ond yr ymgeisydd sydd â'r hawl i apelio. Mewn rhai amgylchiadau gall yr Arolygiaeth Gynllunio wrthod ystyried apêl.

## Notes to accompany Decision Notices

**Sustainable Drainage Systems (SuDS)** - All new developments of more than 1 house or where the construction area is of 100m<sup>2</sup> or more will require sustainable drainage to manage on-site surface water. Surface water drainage systems must be designed and built in accordance with mandatory standards for sustainable drainage published by Welsh Ministers. Schedule 3 of the Flood and Water Management Act (FWMA) 2010 requires surface water drainage for new developments to comply with mandatory National Standards for sustainable drainage (SuDS). These systems must be approved by the Isle of Anglesey County Council acting in its SuDS Approving Body (SAB) role before construction work begins. If you would like more information about this new process, please contact [pemht@anglesey.gov.uk](mailto:pemht@anglesey.gov.uk) or see <https://gov.wales/topics/environmentcountryside/epq/flooding/drainage/?lang=en>

**Building Regulations** - This decision is not a decision under the Building Regulations and the applicant should ensure that all necessary approvals for the same proposal and same plans are obtained before commencing any work on the site. See [www.anglesey.gov.uk/planning-and-waste/building-control/](http://www.anglesey.gov.uk/planning-and-waste/building-control/) for further information.

**Discharge of Conditions** – If your application has been approved with conditions then any pre-commencement conditions must be formally discharged through application before work starts.

Application forms can be obtained via

[http://www.anglesey.gov.uk/Journals/public/attachments/90/1APP\\_FormsPublic\\_Version\\_English.pdf](http://www.anglesey.gov.uk/Journals/public/attachments/90/1APP_FormsPublic_Version_English.pdf)

Amending your permission (only applies to planning permissions) – If you want to change some details of your planning permission and the change is considered minor, you can apply for a Non-Material Amendment. Other changes may be agreed through formal application for a Variation of Condition or through a new Planning Application. Application forms can be obtained via

[http://www.anglesey.gov.uk/Journals/public/attachments/90/1APP\\_FormsPublic\\_Version\\_English.pdf](http://www.anglesey.gov.uk/Journals/public/attachments/90/1APP_FormsPublic_Version_English.pdf)

Adherence to approved plans/conditions - Failure to adhere to the details of the approved plans or to comply with the conditions contravenes the Town and Country Planning Act 1990 and enforcement action may be taken.

#### Right of Appeal

If you are aggrieved by a decision to refuse permission or to grant it subject to conditions you can appeal to the Planning Inspectorate at Crown Buildings, Cathays Park, Cardiff CF103NQ or online at <https://www.gov.uk/government/organisations/planning-inspectorate>. Appeals must be made on the correct form relating to the type of application you submitted and within the subscribed time limit. Information provided as part of the appeal process will be published online. Only the applicant has the right of appeal. In some circumstances the Planning Inspectorate may refuse to consider an appeal.



## **APPENDIX II**

### **Gwynedd Archaeological Trust Photographic Metadata**

## APPENDIX II

PHOTO RECORD NUMBER*	PROJECT NAME	PROJECT PHASE	DESCRIPTION*	VIEW FROM	SCALE(S)	CREATOR OF DIGITAL PHOTO*	DATE OF CREATION OF DIGITAL PHOTO*	ORIGINATING OF ORGANISATION	Plates
G2623_001	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	South Eastern elevation of Ferryman's Cottage	SE	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	
G2623_002	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Oblique view eastern elevation	S	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	02
G2623_003	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Front door eastern elevation (external view)	ENE	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	
G2623_004	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Eastern elevation of Ferryman's Cottage	SE	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	01
G2623_005	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	North East wall with fireplace	SW	2x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	
G2623_006	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	North East wall with fireplace	SW	2x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	
G2623_007	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Close up of fireplace	SW	Not used	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	
G2623_008	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	North end of north west wall with blocked up	SE	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	

PHOTO RECORD NUMBER*	PROJECT NAME	PROJECT PHASE	DESCRIPTION*	VIEW FROM	SCALE(S)	CREATOR OF DIGITAL PHOTO*	DATE CREATION OF DIGITAL PHOTO*	ORIGINATING ORGANISATION	Plates
			window						
G2623_009	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	South end of north west wall	SE	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	
G2623_010	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	South end of north west wall	SE	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	
G2623_011	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Oblique view of west wall	ENE	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	
G2623_012	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	South wall	NW	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	
G2623_013	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	South wall	NE	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	
G2623_014	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Oblique view of east wall showing south end and front door	N	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	11
G2623_015	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Oblique view of eat wall showing south end and front door	N	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	
G2623_016	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Front door (internal view)	NW	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	09

PHOTO RECORD NUMBER*	PROJECT NAME	PROJECT PHASE	DESCRIPTION*	VIEW FROM	SCALE(S)	CREATOR OF DIGITAL PHOTO*	DATE CREATION OF DIGITAL PHOTO*	ORIGINATING ORGANISATION	Plates
G2623_017	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Oblique view of east wall showing front door and window	S	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	
G2623_018	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	East wall, front door, window and fireplace	S	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	06
G2623_019	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Window in east wall	NW	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	10
G2623_020	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Ceiling and roof at south end and south wall	ENE	Not used	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	07
G2623_021	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Ceiling above fireplace North wall	SW	Not used	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	08
G2623_022	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Blocked up window	SE	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	13
G2623_023	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Fireplace in north wall	SW	Not used	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	12
G2623_024	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	North end of roof at rear of the building (external view)	WSW	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	
G2623_025	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Roof at rear of the building	NE	Not used	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological	



PHOTO RECORD NUMBER*	PROJECT NAME	PROJECT PHASE	DESCRIPTION*	VIEW FROM	SCALE(S)	CREATOR OF DIGITAL PHOTO*	DATE CREATION OF DIGITAL PHOTO*	ORIGINATING ORGANISATION	Plates
								Trust	
G2623_026	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Back garden	NW	Not used	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	05
G2623_027	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Back garden	E	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	
G2623_028	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	North end of roof (external view)	WSW	Not used	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	04
G2623_029	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Access to rear narrow steps at north side of building	SE	1x1m	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	03
G2623_030	G2623_Ferryman's_ Cottage_Menai_Bridge	Building Record	Eastern elevation of Ferryman's Cottage	SE	Not used	Anne Marie Oattes	02/12/2019	Gwynedd Archaeological Trust	
G2623_031	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	View of rear of the building after concrete was removed	NNE	1x1m	Anne Marie Oattes	10/12/2019	Gwynedd Archaeological Trust	16
G2623_032	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	View of back wall partially removed	ESE	1x1m	Anne Marie Oattes	10/12/2019	Gwynedd Archaeological Trust	
G2623_033	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	View of back wall partially removed	ENE	1x1m	Anne Marie Oattes	10/12/2019	Gwynedd Archaeological Trust	

PHOTO RECORD NUMBER*	PROJECT NAME	PROJECT PHASE	DESCRIPTION*	VIEW FROM	SCALE(S)	CREATOR OF DIGITAL PHOTO*	DATE CREATION OF DIGITAL PHOTO*	ORIGINATING ORGANISATION	Plates
G2623_034	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	View to NW at rear of building	SW	1x1m	Anne Marie Oattes	10/12/2019	Gwynedd Archaeological Trust	
G2623_035	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	View of steps to garden after concrete removed	SE	1x1m	Anne Marie Oattes	10/12/2019	Gwynedd Archaeological Trust	
G2623_036	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	View of steps to garden after concrete removed and ground level reduced showing stones, bedrock and demolition rubble	SE	1x1m	Anne Marie Oattes	10/12/2019	Gwynedd Archaeological Trust	17
G2623_037	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	View of upper steps after concrete removed showing small boulder set into demolition rubble (base for steps)	SE	1x1m	Anne Marie Oattes	10/12/2019	Gwynedd Archaeological Trust	
G2623_038	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	View of steps to garden after concrete	SE	1x1m	Anne Marie Oattes	10/12/2019	Gwynedd Archaeological Trust	

PHOTO RECORD NUMBER*	PROJECT NAME	PROJECT PHASE	DESCRIPTION*	VIEW FROM	SCALE(S)	CREATOR OF DIGITAL PHOTO*	DATE CREATION OF DIGITAL PHOTO*	ORIGINATING ORGANISATION	Plates
			removed						
G2623_039	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	View of stone wall at rear of garden	E	1x1m	Anne Marie Oattes	11/12/2019	Gwynedd Archaeological Trust	
G2623_040	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	View of stone wall at rear of garden	SE	1x1m	Anne Marie Oattes	11/12/2019	Gwynedd Archaeological Trust	15
G2623_041	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	View of upper retaining wall at rear of garden	SE	NOT USED	Anne Marie Oattes	11/12/2019	Gwynedd Archaeological Trust	
G2623_042	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	View of walls at rear of garden prior to removal	ESE	NOT USED	Anne Marie Oattes	11/12/2019	Gwynedd Archaeological Trust	14
G2623_043	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	View of chimney stack	SW	NOT USED	Anne Marie Oattes	11/12/2019	Gwynedd Archaeological Trust	
G2623_044	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	Working shot of removal of tree stump and boundary wall	SE	NOT USED	Anne Marie Oattes	11/12/2019	Gwynedd Archaeological Trust	
G2623_045	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	Shot of drainage associated artefact (surround for downpipe?)	NOT USED	NOT USED	Anne Marie Oattes	11/12/2019	Gwynedd Archaeological Trust	
G2623_046	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	Shot of drainage associated	NOT USED	NOT USED	Anne Marie Oattes	11/12/2019	Gwynedd Archaeological Trust	

PHOTO RECORD NUMBER*	PROJECT NAME	PROJECT PHASE	DESCRIPTION*	VIEW FROM	SCALE(S)	CREATOR OF DIGITAL PHOTO*	DATE CREATION OF DIGITAL PHOTO*	ORIGINATING ORGANISATION	Plates
			artefact (surround for downpipe?)						
G2623_047	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	Working shot of wall being removed	WSW	NOT USED	Anne Marie Oattes	11/12/2019	Gwynedd Archaeological Trust	
G2623_048	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	Shot of pipe (old gas pipe?) exposed during removal of retaining wall	WSW	NOT USED	Anne Marie Oattes	11/12/2019	Gwynedd Archaeological Trust	
G2623_049	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	Boundary wall at Cambria Road demolished	WSW	NOT USED	Anne Marie Oattes	12/12/2019	Gwynedd Archaeological Trust	
G2623_050	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	Front door key	NOT USED	NOT USED	Anne Marie Oattes	12/12/2019	Gwynedd Archaeological Trust	
G2623_051	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	View to alley to NE of cottage after steps removed	NW	NOT USED	Anne Marie Oattes	13/12/2019	Gwynedd Archaeological Trust	
G2623_052	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	View of boundary wall at Cambria Road wall removed	SW	NOT USED	Anne Marie Oattes	13/12/2019	Gwynedd Archaeological Trust	
G2623_053	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	View of steps removed	E	NOT USED	Anne Marie Oattes	13/12/2019	Gwynedd Archaeological	



PHOTO RECORD NUMBER*	PROJECT NAME	PROJECT PHASE	DESCRIPTION*	VIEW FROM	SCALE(S)	CREATOR OF DIGITAL PHOTO*	DATE CREATION OF DIGITAL PHOTO*	ORIGINATING ORGANISATION	Plates
								Trust	
G2623_054	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	NE end of rear garden showing stone wall of house next door after render removed	E	NOT USED	Anne Marie Oattes	13/12/2019	Gwynedd Archaeological Trust	
G2623_055	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	NE wall after fireplace removed	SW	1x1m	Anne Marie Oattes	16/12/2019	Gwynedd Archaeological Trust	
G2623_056	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	NE wall after fireplace removed	SW	1x1m	Anne Marie Oattes	16/12/2019	Gwynedd Archaeological Trust	
G2623_057	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	NW wall plaster partially removed	SE	1x1m	Anne Marie Oattes	16/12/2019	Gwynedd Archaeological Trust	
G2623_058	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	NW wall plaster partially removed	SE	1x1m	Anne Marie Oattes	16/12/2019	Gwynedd Archaeological Trust	
G2623_059	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	Front door after steps removed	SE	1x1m	Anne Marie Oattes	16/12/2019	Gwynedd Archaeological Trust	19
G2623_060	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	Front door after steps removed showing bricks forming steps	SE	1x1m	Anne Marie Oattes	16/12/2019	Gwynedd Archaeological Trust	
G2623_061	G2623_Ferryman's_ Cottage_Menai_Bridge	Watching Brief	Shot of ceiling on SE side of roof showing	NW	NOT USED	Anne Marie Oattes	16/12/2019	Gwynedd Archaeological Trust	

PHOTO RECORD NUMBER*	PROJECT NAME	PROJECT PHASE	DESCRIPTION*	VIEW FROM	SCALE(S)	CREATOR OF DIGITAL PHOTO*	DATE CREATION OF DIGITAL PHOTO*	ORIGINATING ORGANISATION	Plates
			plaster and lathe						
G2623_062	G2623_Ferryman's_ Cottage_Menai_Bridge	Building record	Shot of ceiling on NW side of the roof showing lathe and slates	SE	NOT USED	Anne Marie Oattes	16/12/2019	Gwynedd Archaeological Trust	
G2623_063	G2623_Ferryman's_ Cottage_Menai_Bridge	Building record	View of blocked window with plaster removed below showing wall	SE	1x1m	Anne Marie Oattes	17/12/2019	Gwynedd Archaeological Trust	
G2623_064	G2623_Ferryman's_ Cottage_Menai_Bridge	Building record	View of blocked window with plaster removed below showing wall	SE	1x1m	Anne Marie Oattes	17/12/2019	Gwynedd Archaeological Trust	
G2623_065	G2623_Ferryman's_ Cottage_Menai_Bridge	Building record	North wall of cottage - render removed to expose stone work	SW	1x1m	Stuart Reilly	09/01/2020	Gwynedd Archaeological Trust	21
G2623_066	G2623_Ferryman's_ Cottage_Menai_Bridge	Building record	Close-up of fireplace opening with frontage removed	SW	1x1m	Stuart Reilly	09/01/2020	Gwynedd Archaeological Trust	
G2623_067	G2623_Ferryman's_ Cottage_Menai_Bridge	Building record	Western wall of cottage - render	SE	1x1m	Stuart Reilly	09/01/2020	Gwynedd Archaeological	

PHOTO RECORD NUMBER*	PROJECT NAME	PROJECT PHASE	DESCRIPTION*	VIEW FROM	SCALE(S)	CREATOR OF DIGITAL PHOTO*	DATE CREATION OF DIGITAL PHOTO*	ORIGINATING ORGANISATION	Plates
			removed					Trust	
G2623_068	G2623_Ferryman's_ Cottage_Menai_Bridge	Building record	Eastern wall (window) of cottage with render removed	NW	1x1m	Stuart Reilly	09/01/2020	Gwynedd Archaeological Trust	
G2623_069	G2623_Ferryman's_ Cottage_Menai_Bridge	Building record	Close-up of bricks set within window opening	N	1x1m	Stuart Reilly	09/01/2020	Gwynedd Archaeological Trust	
G2623_070	G2623_Ferryman's_ Cottage_Menai_Bridge	Building record	Brick edge of window sill in eastern wall	NW	1x1m	Stuart Reilly	09/01/2020	Gwynedd Archaeological Trust	
G2623_071	G2623_Ferryman's_ Cottage_Menai_Bridge	Building record	South eastern wall (south of doorway) of cottage with render removed	WNW	1x1m	Stuart Reilly	09/01/2020	Gwynedd Archaeological Trust	
G2623_072	G2623_Ferryman's_ Cottage_Menai_Bridge	Building record	Oblique view of south eastern wall of cottage with render removed	W	1x1m	Stuart Reilly	09/01/2020	Gwynedd Archaeological Trust	
G2623_073	G2623_Ferryman's_ Cottage_Menai_Bridge	Building record	Exposed stone work above doorway in south eastern wall	WNW	Not used	Stuart Reilly	09/01/2020	Gwynedd Archaeological Trust	
G2623_074	G2623_Ferryman's_ Cottage_Menai_Bridge	Building record	Oblique view of exposed	NW	1x1m	Stuart Reilly	09/01/2020	Gwynedd Archaeological	

PHOTO RECORD NUMBER*	PROJECT NAME	PROJECT PHASE	DESCRIPTION*	VIEW FROM	SCALE(S)	CREATOR OF DIGITAL PHOTO*	DATE CREATION OF DIGITAL PHOTO*	ORIGINATING ORGANISATION	Plates
			stonework at doorway					Trust	
G2623_075	G2623_Ferryman's_Cottage_Menai_Bridge	Building record	Oblique view of exposed stonework at doorway	SW	1x1m	Stuart Reilly	09/01/2020	Gwynedd Archaeological Trust	
G2623_076	G2623_Ferryman's_Cottage_Menai_Bridge	Building record	Exposed plasterwork of ceiling	NNW	Not used	Stuart Reilly	09/01/2020	Gwynedd Archaeological Trust	
G2623_077	G2623_Ferryman's_Cottage_Menai_Bridge	Building record	Close-up of plaster for ceiling	WNW	Not used	Stuart Reilly	09/01/2020	Gwynedd Archaeological Trust	
G2623_078	G2623_Ferryman's_Cottage_Menai_Bridge	Building record	Floor of cottage	SW	1x1m	Stuart Reilly	09/01/2020	Gwynedd Archaeological Trust	20
G2623_079	G2623_Ferryman's_Cottage_Menai_Bridge	Building record	Rear of cottage showing exposed bedrock	E	Not used	Stuart Reilly	09/01/2020	Gwynedd Archaeological Trust	
G2623_080	G2623_Ferryman's_Cottage_Menai_Bridge	Building record	Opening at rear, western end of the cottage	S	1x1m	Stuart Reilly	09/01/2020	Gwynedd Archaeological Trust	22
G2623_081	G2623_Ferryman's_Cottage_Menai_Bridge	Building record	View of roof of cottage taken from Cambria Road	W	Not used	Stuart Reilly	09/01/2020	Gwynedd Archaeological Trust	
G2623_082	G2623_Ferryman's_Cottage_Menai_Bridge	Building record	Groundworks off Cambria Road to break	N	Not used	Stuart Reilly	09/01/2020	Gwynedd Archaeological Trust	



PHOTO RECORD NUMBER*	PROJECT NAME	PROJECT PHASE	DESCRIPTION*	VIEW FROM	SCALE(S)	CREATOR OF DIGITAL PHOTO*	DATE CREATION OF DIGITAL PHOTO*	OF OF ORIGINATING ORGANISATION	Plates
			up concrete						
G2623_083	G2623_Ferryman's_ Cottage_Menai_Bridge		View of rear of cottage off Cambria Road	N	Not used	Stuart Reilly	09/01/2020		
G2623_084	G2623_Ferryman's_ Cottage_Menai_Bridge		View to rear of cottage showing bedrock and soil beneath Cambria Road	SE	Not used	Anne Marie Oattes	15/01/2020		18
G2623_085	G2623_Ferryman's_ Cottage_Menai_Bridge		View to rear of cottage showing bedrock and soil beneath Cambria Road	S	Not used	Anne Marie Oattes	15/01/2020		
G2623_086	G2623_Ferryman's_ Cottage_Menai_Bridge		View to rear of cottage showing bedrock and soil beneath Cambria Road	E	Not used	Anne Marie Oattes	15/01/2020		
G2623_087	G2623_Ferryman's_ Cottage_Menai_Bridge		Cottage roof and breakthrough into garden through window and bedrock	NE	Not used	Anne Marie Oattes	15/01/2020		
G2623_088	G2623_Ferryman's_ Cottage_Menai_Bridge		Bedrock in garden at rear of cottage	NE	Not used	Anne Marie Oattes	15/01/2020		





Gwynedd Archaeological Trust  
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