



Cleifiog Fawr, Gorad Road, Valley, Isle of Anglesey, LL65 3BG.

November 2016

V 1.0



aeon archaeology



Level 2/3 Historic Building Record

Project Code: A0101.1

Report no. 0111



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Level 2/3 Historic Building Record

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Broughton
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Project Code: A0101.1

Date: 23/11/2016

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1.0 INTRODUCTION

Aeon Archaeology was commissioned by Sylfaen Associates to produce a detailed (level 2/3) and a photographic historic building record of the property known as Cleifiog Fawr, Gorad Road, Valley, Isle of Anglesey LL65 3BG (centred on **NGR SH 29590 80200**) in advance of refurbishment (figures A-01 and A-02).

The farm comprises a grade II Listed farmhouse (LB ref. 19234) with adjoining ancillary accommodation and a number of agricultural buildings of various dates, partly forming a small farmyard, with outlying detached structures.

The archaeological mitigation was completed as part of Listed Building consent (Planning Reference: **49C289A/LB to 49C289H/LB**).

The Gwynedd Archaeological Planning Service (GAPS) prepared a mitigation brief for this project in October 2016 which requested the following mitigatory response:

A detailed (level 2/3) building record of:

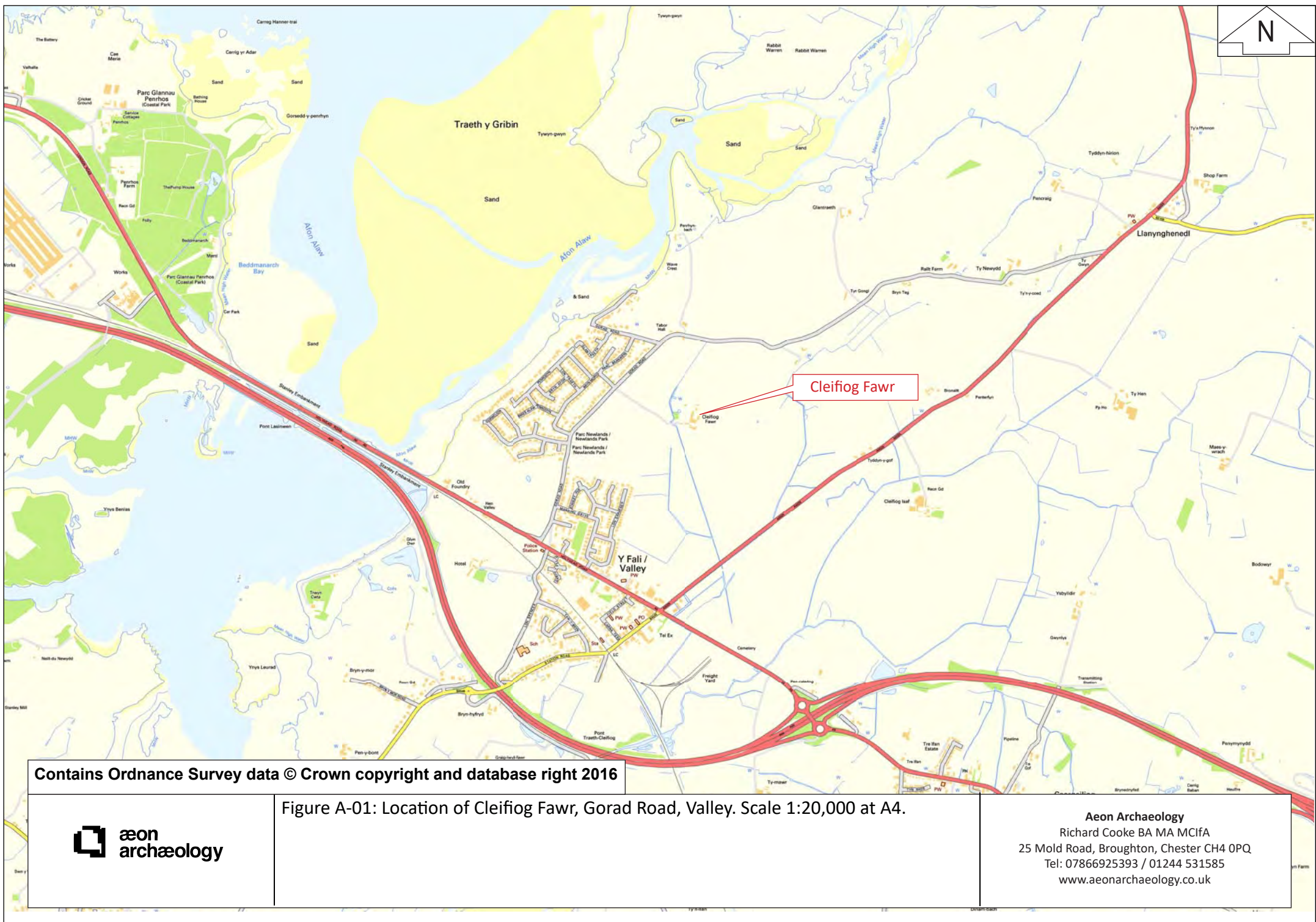
- 1. Grade II listed principal (western) range, comprising farmhouse, cartshed/granary and cowshed (units 1-3)*
- 2. Ruined barn east of the farmhouse (unit 12)*
- 3. Range to the south-west, including former forge (unit 8)*

A photographic record of:

- 1. Remaining buildings (units 4-7, 9-11)*

A Written Scheme of Investigation (WSI) was produced by Aeon Archaeology in November 2016 (Appendix XIII) which detailed a programme of archaeological works to mitigate the impact of the development in accordance with guidelines set out in Welsh national planning guidance (Planning Policy Wales 2014) and Welsh Office Circular 60/96 (Planning and the Historic Environment: Archaeology). The programme of works was to comprise an historic building record commensurate with English Heritage ‘*Understanding Historic Buildings: a guide to good recording practice*’ (2016) **Level 2/3** for units 1-3, 8 and 12; and **level 1** for units 4-7, and 9-11.

The historic building record and report conforms to the guidelines specified in English Heritage ‘*Understanding Historic Buildings: a guide to good recording practice*’ (2016) & Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures (Chartered Institute for Archaeologists, 2014).

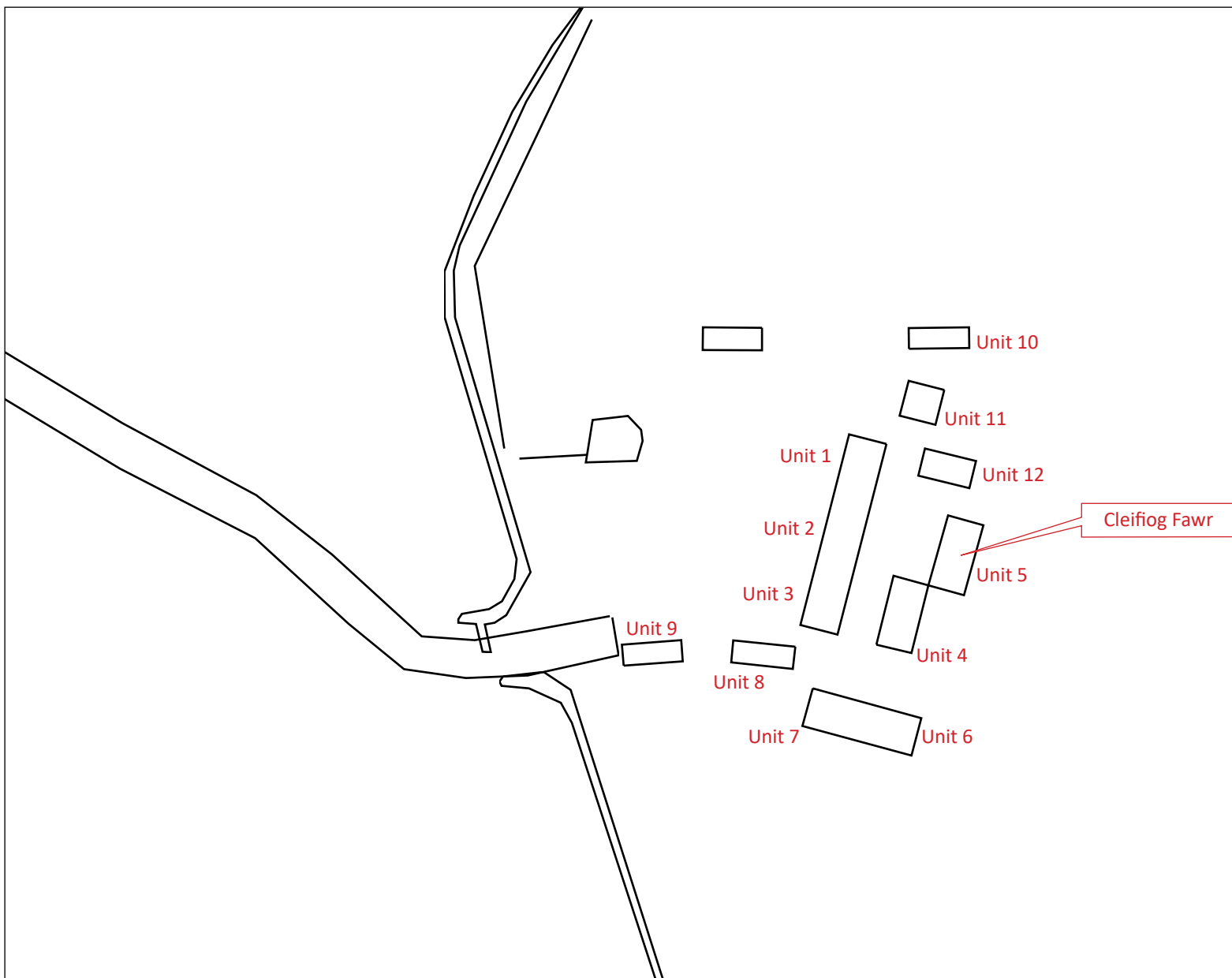


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Figure A-01: Location of Cleifog Fawr, Gorad Road, Valley. Scale 1:20,000 at A4.

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Figure A-02: Location of Cleifiog Fawr, Gorad Road, Valley. Scale 1:1,500 at A4.

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Plate A-01: Cleifog Fawr principle range, from the northwest.



Plate A-02: Cleifog Fawr principle range, from the west.



Plate A-03: Cleifog Fawr principle range, from the southwest.

2.0 REQUIREMENTS

2.1 Building Record

The requirements were for an archaeological building record of Cleifiog Fawr farmhouse, cartshed/granary and cowshed (units 1-3); ruined barn east of the farmhouse (unit 12); and the range to the southwest, including the former forge (unit 8) prior to alteration, however should observations or desk-based research suggest the potential for significant features to be encountered during the site clearance/ground work, the archaeological contractor should make arrangements to undertake any appropriate supplementary recording work during the development. The GAPS Archaeologist has requested that the building record be roughly commensurate with the English Heritage '*Understanding Historic Buildings: a guide to good recording practice*' (2006) **Level 2/3**.

Level 2/3 is an analytical record, and comprises an introductory description followed by a systematic account of the building's origins, development and use. The record will include an account of the evidence on which the analysis has been based, allowing the validity of the record to be re-examined in detail. It will also include all drawn and photographic records that may be required to illustrate the building's appearance and structure and to support an historical analysis.

The information contained in the record will for the most part have been obtained through an examination of the building itself. If documentary sources are used they are likely to be those most readily accessible, such as historic Ordnance Survey maps, trade directories, and other published sources. The record will not normally discuss the building's broader stylistic or historical context and importance at any length.

The detailed photographic record will consist of English Heritage '*Understanding Historic Buildings: a guide to good recording practice*' (2006) elements:

- written account: 1-3, 5-9, 11, 13, 22, 23.
- drawings: 2, 7-9.
- photographs: 1, 2 and 4-8

The remaining units at Cleifiog Fawr (units 4-7, 9-11) will require a photographic record only.

3.0 METHOD STATEMENT

3.1 Level 2/3 Record

3.1.1 Written Account

The written account will include:

- The building's precise location as a National Grid Reference and address form;
- A note of any statutory designation and non-statutory designation;
- The date of the record, name(s) of the recorder(s) and archive location;
- A summary of the building's form, function, date, and sequence of development.
- An introduction, setting out the circumstances in which the record was made, its objectives, methods, scope and limitations, and any constraints which limited the achievement of objectives.
- Acknowledgements to all those who made significant contributions.
- A discussion of published sources relating to the building and its setting, an account of its history as given in published sources, an analysis of historic map evidence and a critical evaluation of previous records of the building, where they exist.
- An account of the building's overall form and its successive phases of development, together with the evidence supporting this analysis.
- An account of the past and present uses of the building and its parts, with the evidence for these interpretations.
- Any evidence for the former existence of demolished structures or removed plant associated with the building.
- Full bibliographic and other references.

3.1.2 Photographs

The photographic record will include:

- A general view or views of the building;
- The building's external appearance. Typically a series of oblique views will show all external elevations of the building and give an impression of its size and shape;
- The overall appearance of the principal rooms and circulation areas.
- Any internal or external detail.
- Any machinery or other plant, or evidence for its former existence.
- Any dates or other inscriptions.
- Any building contents or ephemera which have a significant bearing on the building's history.
- Copies of maps, drawings, views and photographs present in the building and illustrating its development or that of its site.

A Digital SLR (Canon 600D) set to maximum resolution will be used throughout.

3.1.3 Drawings

The drawn record will include:

- A site plan, typically at 1:500 or 1:1250, relating the building to other structures and to related topographical and landscape features.
- A measured site plan showing the location and orientation of photographs. This will label all room spaces and indicate any architectural features of note.

- Copies of earlier drawings throwing light on the building's history.

4.0 METHODS AND TECHNIQUES

The significance, origins and development of the site are discussed with reference to the available historical sources. A photographic record was made using a Canon DSLR 600D camera set to maximum resolution. The location and orientation of photographs are shown on individual figures for each unit.

Existing architects' plans were utilised for the purpose of locating and orientating photographs, and all features, details, room spaces, and elevations were photographed and described to illustrate the setting, appearance, and structure of the building. Photographic images were labeled with the subject, orientation and the date taken, and cross-referenced to a digital file.

5.0 ARCHAEOLOGICAL AND HISTORICAL RECORD

Cleifiog Fawr farmhouse is Grade II listed as an example of an early 19th century vernacular farmhouse, retaining much character and many original features (Cadw ref. 19234). It is thought to have been built following the acquisition of property locally by the Baron Hill estate in 1813, although records of the name 'Cleifiog Fawr' are seen in several documents housed at the University of Bangor Archives dating from 1760, including within the Llanynghenedl Parish Register which records Cleifiog Fawr as being a tailors and tenanted by Hugh Prichard and Richard Williams between 1763-74 (Barnes, F.A. 1988).

The nearby farms of Cleifiog Uchaf and Cleifiog Isaf appear to exist from 1730-40 suggesting by association that the farmstead of Cleifiog Fawr was in existence at this point in time. However, according to Barnes (1988) 'Cleifiog Fawr' referred to a multiple holding of 504 acres in the eighteenth century which included Cleifiog Isaf and several other farmsteads. The name Cleifiog Fawr, as mentioned in the 18th Century, appears to refer to a larger leasehold estate rather than an individual farmstead. In the mid-18th Century this estate belonged to Owen Roberts, the father-in-law of John Jones –a prosperous yeoman with property in Ceirchiog.

The farmhouse known as Cleifiog Fawr is first depicted on the Llanynghenedl tithe map of 1838 (figure A-03) where the principle building (Units 1-3) is shown as a north-south range. In addition the forge (Unit 8) is depicted as a rectangular building orientated east to west and located away to the southwest from the main building. A second outbuilding, probably a barn or cowshed that is no longer in existence, is shown as a rectangular structure orientated north to south and situated to the northeast of the principle range.

The tithe map depicts the farm as being within field plot 19 and the accompanying tithe apportionment provides the following information:

Plot	Owner	Tenant	Field name	A/R/P
19	Sir Richard Williams Bulkeley Bt.	Richard Williams	Cleifiog Fawr	213/0/13

The farm is again shown on an undated 'Survey of Farms' carried out by the Baron Hill Estate (figure A-04) which appears to post-date the tithe map and depicts a third outbuilding, rectangular in shape orientated east to west and located to the west of the principle range

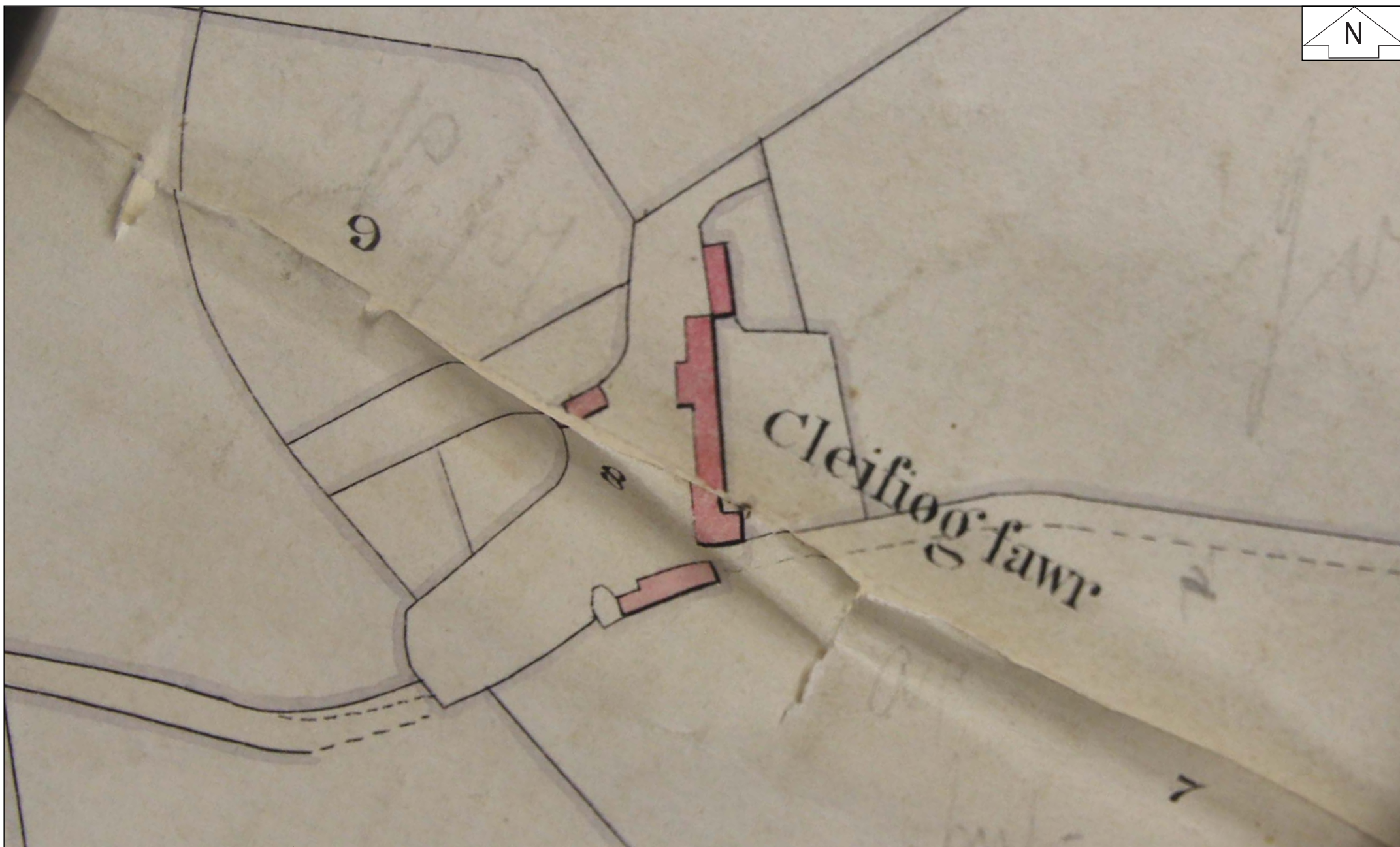
(Units 1-3). This structure is also no longer in existence and may have functioned as a barn or workshop. The survey also appears to show a small pool to the immediate west of the forge (Unit 8) which was likely used to draw water as part of the quenching process.

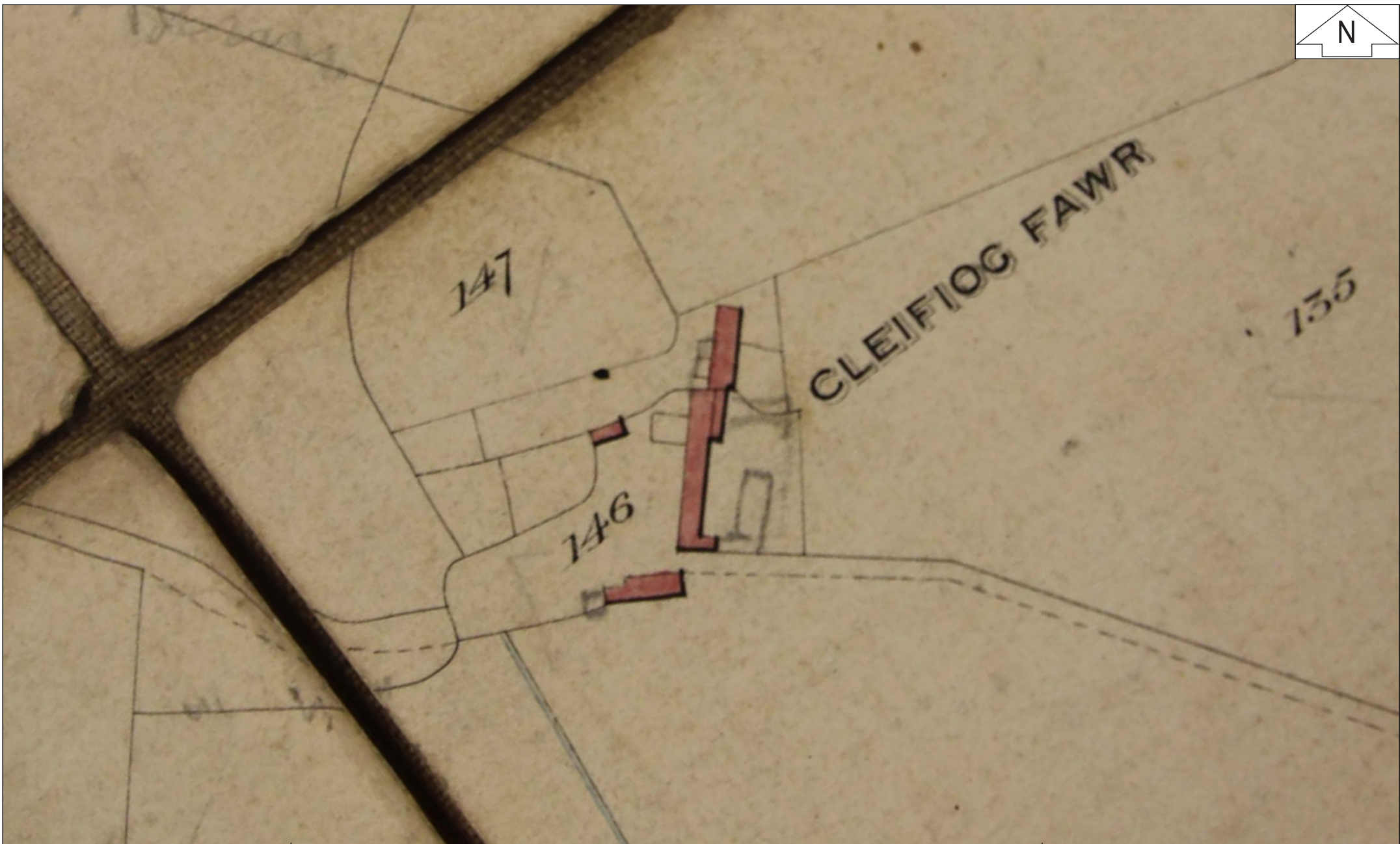
The farm is shown in detail on the Baron Hill estate map of 1861 (figure A-05) which depicts an enclosed front garden to the principle range of Unit 1. In addition the outbuilding to the immediate northeast appears to have been integrated into the northern gable of Unit 1, perhaps forming a laithe house, and is shown as having three small enclosure pens to the immediate west. The forge and outbuilding to the west are still depicted and appear unaltered.

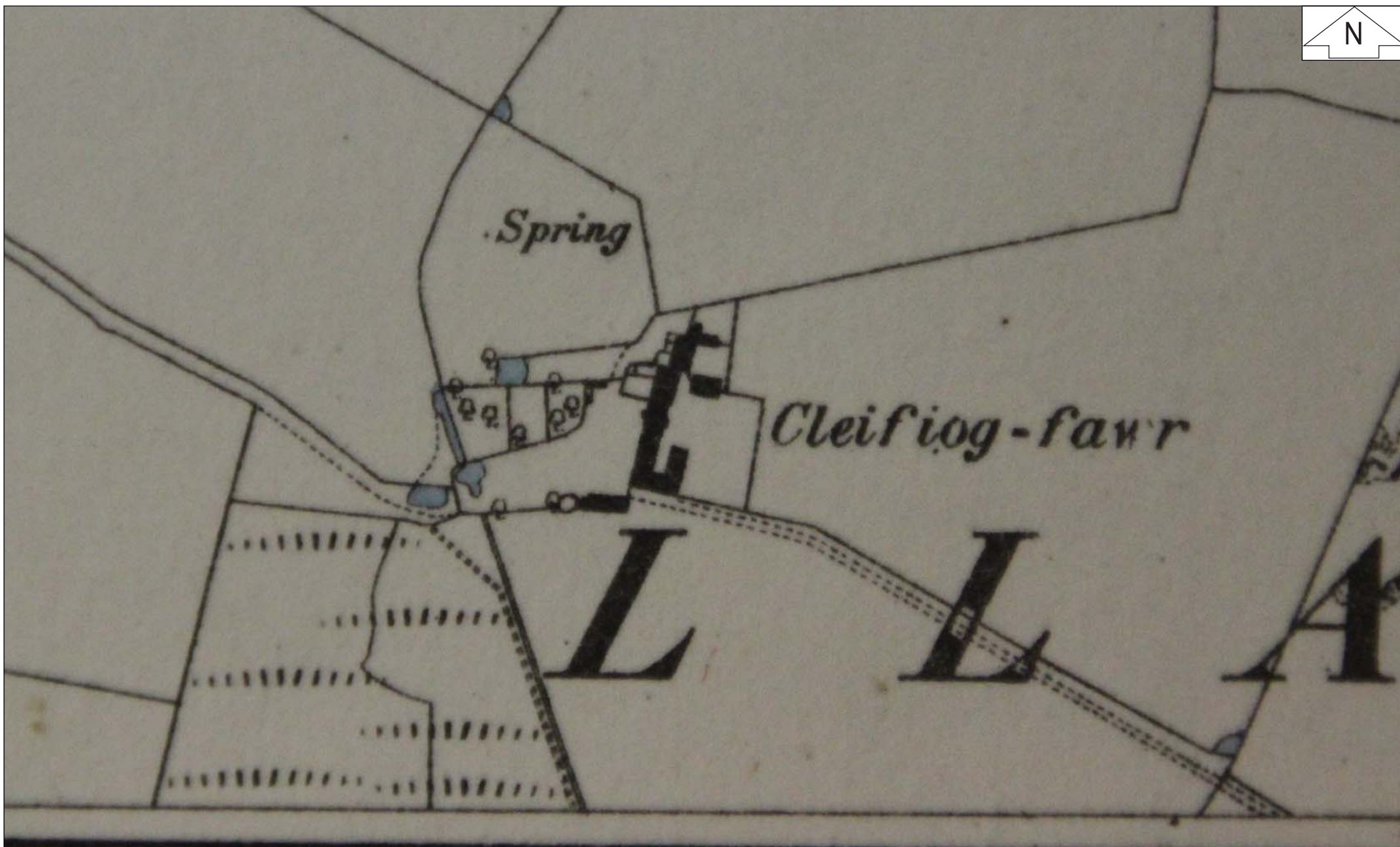
By the production of the first edition County Series 1:10,560 Ordnance Survey map of 1888 (figure A-06) the farm is shown as having been developed to include a barn or cowshed (Unit 4) to the immediate east of Unit 3, and Unit 12 had been constructed to the northeast. By this point in time the outbuilding to the west had been demolished and an orchard or possibly a garden had been planted at its location. Moreover, a second enclosed front garden appears to have been added to the immediate west of the northern part of Unit 1, as is in existence today, and the attached outbuilding to the north is still shown as having three small enclosed animal pens but appears to have been extended to the east.

The third and fourth edition County Series 1:10,560 Ordnance Survey maps of 1926 and 1949 respectively (figure A-07 and A-08) show that Unit 10 had been constructed at the northern limit of the site as a rectangular building orientated east to west. In addition Units 6 and 7 had been constructed at the south-eastern limit of the site, and Unit 9 had been built to the immediate west of the forge pool. The map also shows three small outbuildings or sheds located to the west of the principle range (Unit 1).









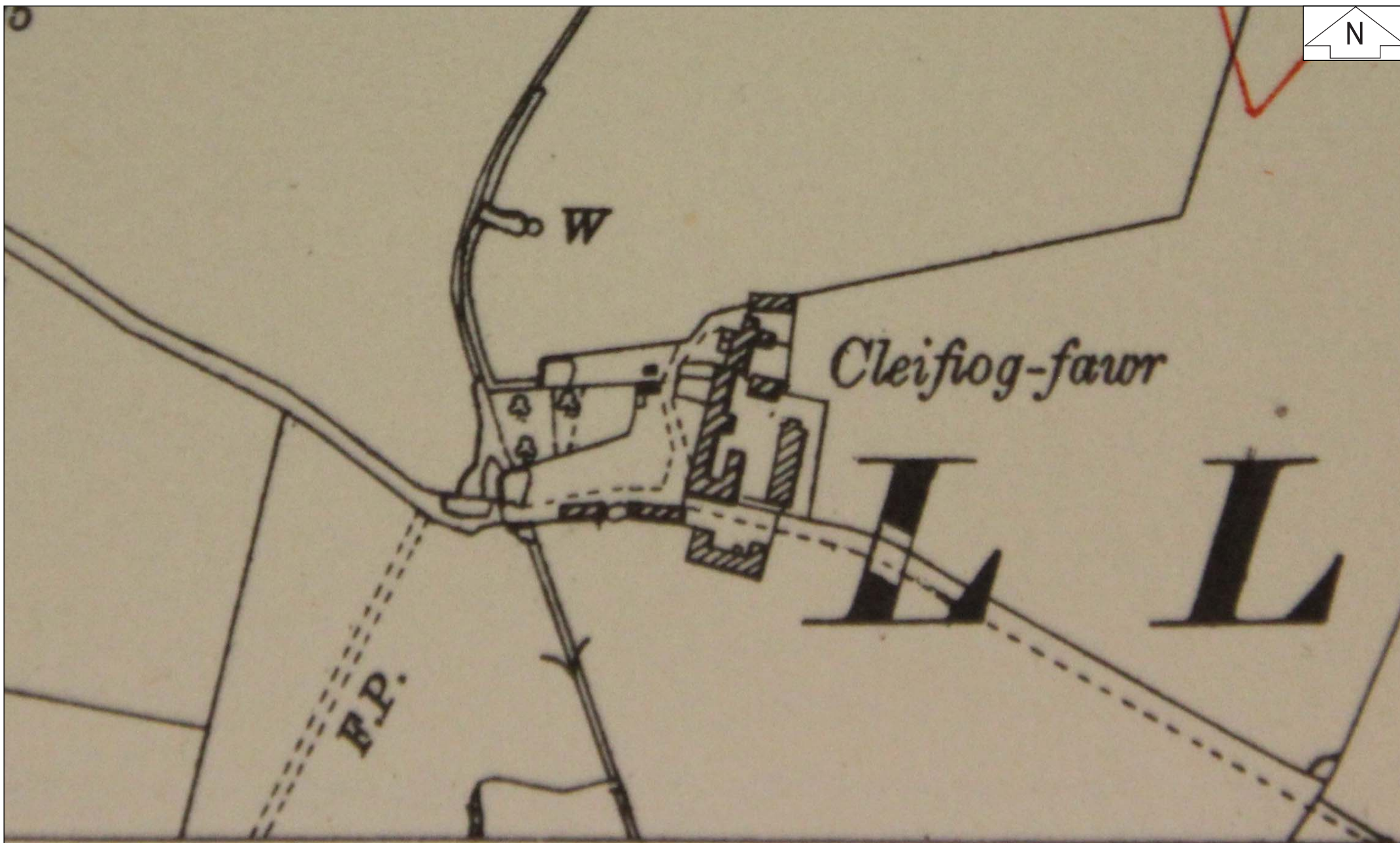


Figure A-07: Location of Cleifiog Fawr on the Third Edition County Series 1:10,560
Ordnance Survey map of 1926.

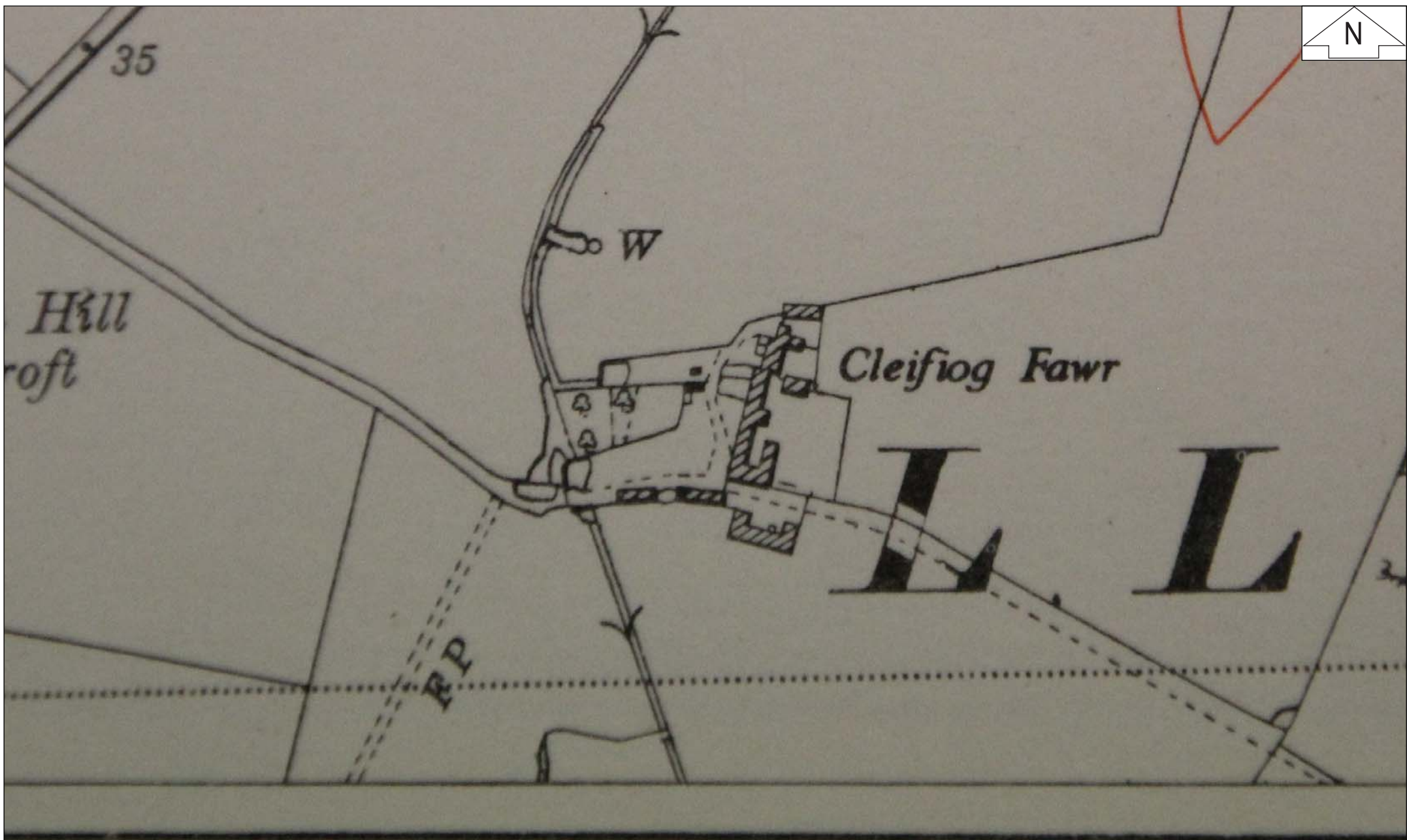


Figure A-08: Location of Cleifiog Fawr on the Fourth Edition County Series 1:10,560
Ordnance Survey map of 1949.

6.0 SOURCES

Barnes, F.A. 1988. *Land tenure and landscape in Llanynghenedl, Anglesey, p31-113.*

Baron Hill 6528. Estate Map.

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Baron Hill 6550. Estate Map.

Baron Hill 6592, Undated. *A Survey of Farms.*

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English Heritage, 2016. *Understanding Historic Buildings: a guide to good recording practice.*

Gwynedd Archaeological Planning Service brief (ref. D1264)

Gwynedd Archaeological Planning Service Requirements for General Photographic Surveys of Buildings

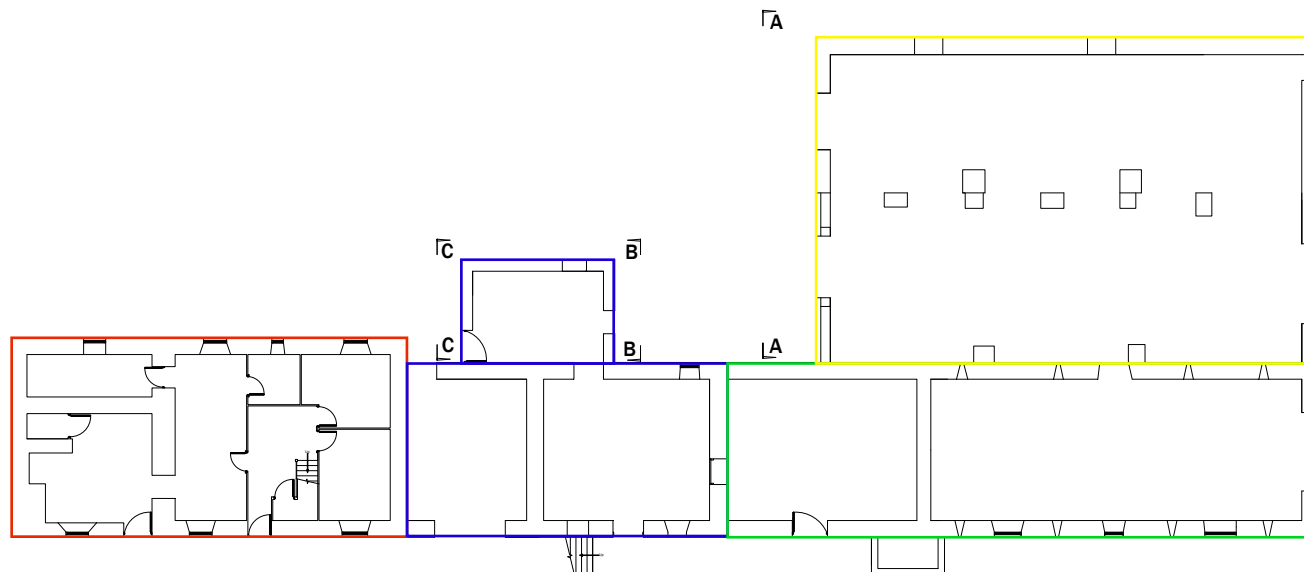
Llanynghenedl tithe map and schedule 1838.

Ordnance Survey 1st edition 1:10,560 map 1888.

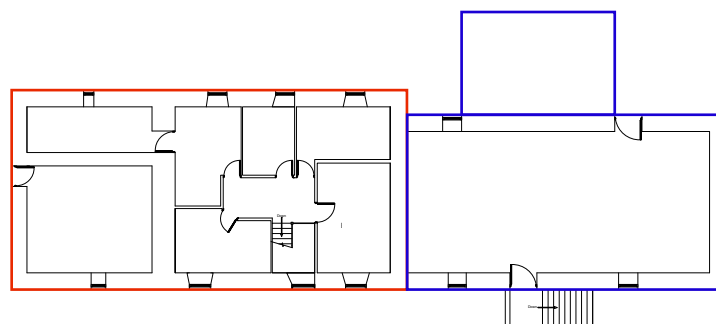
Ordnance Survey 3rd edition 1:10,560 map 1926.

Ordnance Survey 4th edition 1:10,560 map 1949.

- Unit 1
- Unit 2
- Unit 3
- Unit 4



EXISTING GROUND FLOOR PLAN



EXISTING FIRST FLOOR PLAN



Figure A-10: Site plan (unscaled).

APPENDIX I – UNIT 1

Planning Application ref: 49C289H/LB

Site name: Cleifiog Fawr, Unit 1, Gorad Road, Valley, Isle of Anglesey LL65 3BG

Statutory Protection: Grade II Listed Building (ref: 19234)

Date of record: 15th November 2016

Recorded by: Richard Cooke BA MA MCIfA and Josh Dean BA ACIfA

External description (plates B-01 - B-08; figures B-01 and B-02)

Unit 1 of Cleifiog Fawr is centred on NGR SH 29590 80131 and forms the northern part of a north-south range which includes Units 2 and 3. It is a two-storey rectangular farmhouse orientated north to south, with a one-and-a-half-storey service wing at the left (northern) end.

The farmhouse has a double-pitched roof of small grey slates and slate ridge tiles, with stone coping and rendered gable stacks, extended with brick and rendered capping. The walls are of rubble masonry, front face rendered, rear with widely slobbered mortar.

The western elevation has two equally spaced, slightly recessed sash windows at the right and left ends at first floor level, of 12-pane single-glazed windows in blue-painted wooden frames. There is a mid-storey window of the same located to the right of centre.

At ground floor level there are two equally spaced, slightly recessed sash windows at the right and left ends, of 4-pane single-glazed windows in blue-painted wooden frames. To the left of centre is a single doorway permitting access into the Kitchen although the door has been removed.

The service wing is located to the immediate north of the farmhouse and has a double-pitched roof of small grey slates and slate ridge tiles which has mostly collapsed into the first floor level. The walls are of rubble masonry, front face rendered and painted blue, rear with widely slobbered mortar. There is a rectangular chimney stack of stone rubble bonded by mortar located over the northern gable. The western elevation has a 9-pane single-glazed fixed window set centralised beneath the eaves, and at ground floor level has a 4-pane slightly recessed sash window at the left end in blue-painted wooden frames. At the right end is a single doorway that permits access into the service wing Kitchen via a blue-painted wooden board door.

The western elevation of both the farmhouse and service wing are enclosed by rectangular front gardens orientated east to west, and surround by a low stone rubble wall bonded by mortar. At the northern end of the service wing garden lies a sub-circular well surrounded by stone rubble walls and capped with a half broken quern stone.

The northern elevation of the service wing is featureless.

The eastern elevation of the farmhouse has three equally spaced slightly recessed sash windows at first floor level, all of 2-pane with margin panes set in brown stained wooden frames. Beneath these and at ground floor level are two identical windows at the right and left ends, and a centralised fixed 2-pane window in brown-painted wooden frames, to the right of which is a cast-iron downpipe.

The eastern elevation of the service wing appears to have a single centralised doorway permitting access into the store, however the elevation has almost entirely collapsed as has the roof and no further features could be identified.

An apparent join in the masonry and a lighter shade of mortar utilised on the service wing appears to show that the farmhouse and service wing are not contemporary in date. Larger coping stones utilised in the farmhouse corner wall appears to suggest that it predates the service wing and originally was a stand-alone structure, with the service wing being added at a later date. The earliest map evidence however (tithe map of 1838) shows both structures in existence at this point in time.

Internal description (plates B-09 - B-23; figures B-01 and B-02)

Service Wing

Kitchen 1

Kitchen 1 is a square shaped room measuring 4.0m square. The ceiling boards have fallen away revealing sawn wooden joists orientated east to west and there is the remains of a single centralised pendulum electric light fitting. All of the walls are plastered but heavily degraded.

The northern elevation has an aga fireplace to the left of centre with cast iron fireplace and cast iron bread oven at the left-hand end. At the right-hand end is a single doorway opening permitting access to a small walk-in larder which has exposed stone rubble walls but is otherwise featureless.

The eastern elevation has a centralised wooden shelving unit and a corrugated iron boiler cupboard at the right-hand end. This is accessed via a single dark-stained wooden board door and frame and contains wooden shelving units.

The southern elevation has a single doorway to the right of centre that permits access into kitchen 2 via a green-painted wooden board door in green-painted wooden frame.

The western elevation has a single doorway at the left-hand end that permits access to the front of the property via a blue-painted wooden board door and frame. There is a projecting wooden partition wall midway along the western elevation that segregates the kitchen area at the northern end from the entrance passageway. There is a four pane single-glazed recessed sash window at the right-hand end, with a blue painted wooden frame. Immediately in front of this is a white ceramic Belfast sink supported on two stone slabs and to the immediate left of which is a wooden work surface.

The floor is obscured by remnants of the collapsed ceiling.

Farmhouse

Kitchen 2

A rectangular room measuring 6.3m in length by 2.65m in width orientated north to south. The ceiling is of exposed plasterboard with a single centralised electric pendulum light fitting. The walls are plastered and papered with a yellow floral wallpaper which has slipped in most places.

The northern elevation has a single doorway at the left-hand end that permit access into kitchen 1 via a green painted wooden door and frame. There is a centralised fireplace with dark stained wooden mantle and cast iron Aga, to the left of this is a green painted wooden bench which forms a small partition. At the right-hand end is a single doorway that permits access to the store via a green-painted wooden board door and frame.

The eastern elevation has a green-painted wooden cupboard unit at the left-hand end with three cupboard doors one above the other. To the right of centre is a six-pane single glazed recessed sash window in green-painted wooden frames. Directly beneath this is a recessed wooden window seat also in green-painted wood.

The southern elevation has a single doorway at the left-hand end that permits access to the pantry via a green-painted wooden stable door in green frames. To the right of centre is a single doorway the permits access to the hallway via a green-painted wooden board door and frame. The entire elevation is of wooden panelling but is largely obscured by the wallpaper.

The western elevation has a single glazed four-pane recessed sash window in green-painted wooden frames with a window seat set beneath it, also of green-painted wood.

The floor is of wooden floorboards running east to west.

Pantry

A rectangular room measuring 1.9m in length by 1.75m in width orientated north to south. The ceiling is covered in white paper, most of which is slipping and there is a single centralised pendulum electric light-fitting. The walls are all covered in white paper in the upper half with yellow-painted wooden boards beneath.

The northern elevation has a single centralized doorway that permits access into kitchen 2 via a green-painted wooden board door and frame. The eastern elevation has a single centralized two-pane fixed window in green-painted frame.

The floor is of wooden floorboards running east to west.

Store

A rectangular room measuring 4.65m in length by 1.7m in width orientated north to south. The roof has collapsed into the room, as has much of the eastern elevation, and as such no features aside from a possible doorway opening centralised in the eastern elevation are visible. The walls are of exposed stone rubble bonded by mortar.

Hallway

A rectangular room measuring 4.25m in length by 2.6m in width, orientated east to west. The ceiling is of white-painted wooden boards with a white-painted moulded wooden coving on the north and east elevations.

The northern elevation is of light green-painted wooden board, and there is a centralised doorway permitting access to kitchen 2 via a light green-painted wooden board door. The eastern elevation is of white wallpaper but is otherwise featureless. The southern elevation has a single doorway at the left end that permits access to the dining room via a white-painted wooden board door. To the immediate right of this door is another single doorway that

permits access to the living room via a white-painted wooden board door. At the right-hand end a staircase leads upstairs which has faded brown carpet on the treads and green painted banister and newell post.

The western elevation has a doorway at the right-hand end that permits access to the front of the property via a blue-painted wooden board door that is in a very poor state of preservation. To the immediate left of this door is an understairs cupboard that is accessed via a white-painted wooden board door. There is a white painted wooden skirting board throughout and the floor is of red ceramic tile.

Dining Room

A rectangular room measuring 3.3m in length by 2.75m in width, orientated north to south. The ceiling is of white-painted wooden boards with a centralised electric pendulum light fitting. There is a sawn wooden beam at the northern end which runs above the doorway orientated east to west. All elevations are covered in a white floral wallpaper, that is slipping in most places.

The northern elevation has a single doorway at the left-hand end that permits access to the hallway via a white-painted wooden door. Where the paper has slipped the wall appears to be of wooden panelling but is otherwise featureless. The eastern elevation has a six-pane single glazed sash window in green-painted wooden frame to the right of centre, beneath which is a recessed window seat also of green-painted wood. At the right-hand end is a dark stained wooden dado rail which continues on to the southern elevation.

The southern elevation has a fireplace to the right of centre which has a green-painted wooden mantle and red ceramic surround with cast-iron fireplace. The western elevation appears to be of wooden panelling which has been papered but is otherwise featureless. There is a dark-stained wooden skirting board throughout and the floor is of wooden floorboards orientated east to west and in a poor state of preservation.

Living Room

A rectangular room measuring 3.4m in length by 2.75m in width, orientated east to west. The ceiling is painted and plastered white and there is a single centralised electric light fitting. The walls are all of white and yellow patterned wallpaper.

The northern elevation has a white-painted sawn wooden beam running east to west. At the left-hand end is a wooden shelf supported on a yellow-painted wooden dado rail and at the right-hand end is a single doorway that permits access to the hallway via a white-painted wooden board door in yellow painted frames.

The eastern elevation is featureless.

The southern elevation has a fireplace to the left of centre with brown and green ceramic tile mantle, cast-iron fireplace and brown and cream tiled hearth.

The western elevation has a centralised recessed four-pane sash window in yellow-painted wooden frames and with yellow-painted wooden sill.

There is a yellow painted dado rail and skirting boards throughout and the floor is of dark stained wooden boards.

First Floor

The first floor could not be accessed due to rotten floorboards and the remnants of much of the collapsed roof into the first floor level. As such no photographs or descriptions could be obtained.



Plate B-01: Cleifiog Fawr Unit 1, from the west. Scale 1.0m.



Plate B-02: Cleifiog Fawr Unit 1, from the northwest. Scale 1.0m.



Plate B-03: Cleifiog Fawr Unit 1, from the north. Scale 1.0m.



Plate B-04: Cleifiog Fawr Unit 1, from the northeast. Scale 1.0m.



Plate B-05: Cleifiog Fawr Unit 1 (southern half), from the east. Scale 1.0m.



Plate B-06: Cleifiog Fawr Unit 1, from the southeast. Scale 1.0m.



Plate B-07: Cleifiog Fawr Unit 1 external well, from the southwest. Scale 1.0m.



Plate B-08: Cleifiog Fawr Unit 1 external well, from the northwest. Scale 1.0m.



Plate B-09: Cleifiog Fawr Unit 1 Kitchen 1, from the southeast.



Plate B-10: Cleifiog Fawr Unit 1 Kitchen 1, from the southwest. Scale 1.0m.



Plate B-11: Cleifiog Fawr Unit 1 Kitchen 2, from the east. Scale 1.0m.



Plate B-12: Cleifiog Fawr Unit 1 Kitchen 2, from the west. Scale 1.0m.



Plate B-13: Cleifiog Fawr Unit 1 Kitchen 2 showing fireplace, from the southeast. Scale 1.0m.



Plate B-14: Cleifiog Fawr Unit 1 Kitchen 2 showing wooden panelling, from the north. Scale 1.0m.



Plate B-15: Cleifiog Fawr Unit 1 Pantry, from the north. Scale 1.0m.



Plate B-16: Cleifiog Fawr Unit 1 Store, from the south. Scale 1.0m.



Plate B-17: Cleifiog Fawr Unit 1 Hallway, from the northeast. Scale 1.0m.



Plate B-18: Cleifiog Fawr Unit 1 Hallway, from the northwest. Scale 1.0m.



Plate B-19: Cleifiog Fawr Unit 1 Dining Room, from the northwest.

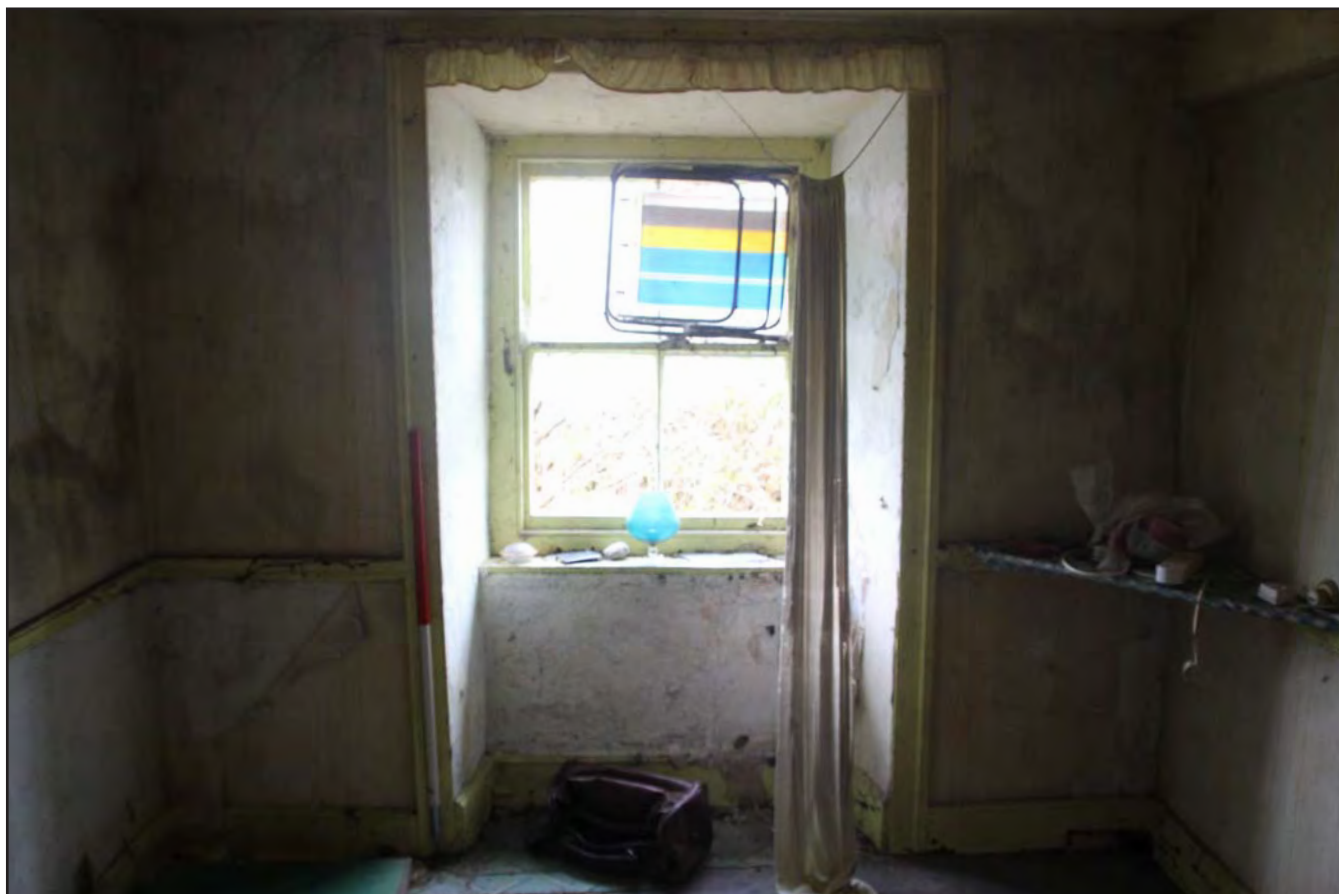


Plate B-20: Cleifiog Fawr Unit 1 Lounge, from the east. Scale 1.0m.



Plate B-21: Cleifiog Fawr Unit 1 Lounge, from the northwest. Scale 1.0m.

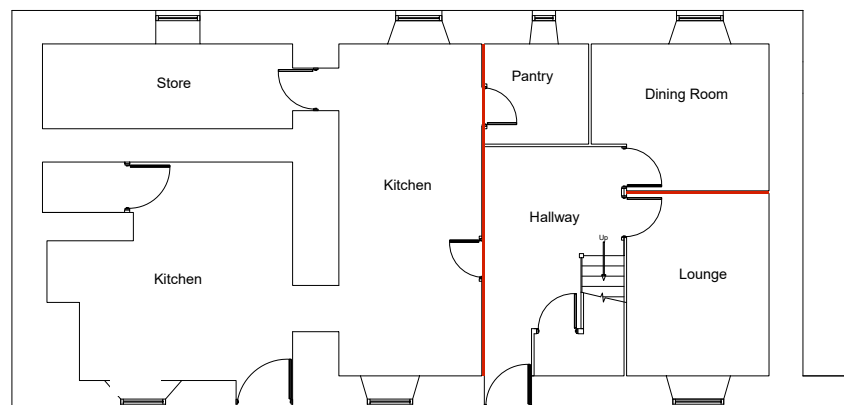


Plate B-22: Cleifiog Fawr Unit 1 Lounge, from the southwest. Scale 1.0m.

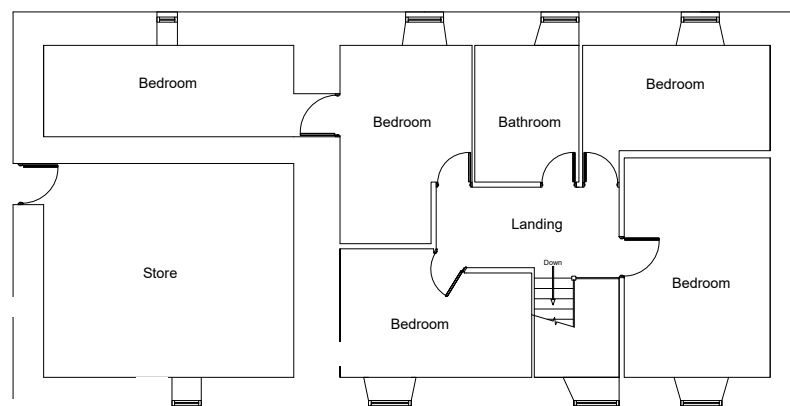


Plate B-23: Cleifiog Fawr Unit 1 Dining Room showing wooden panelling, from the northeast.

Wooden panelling

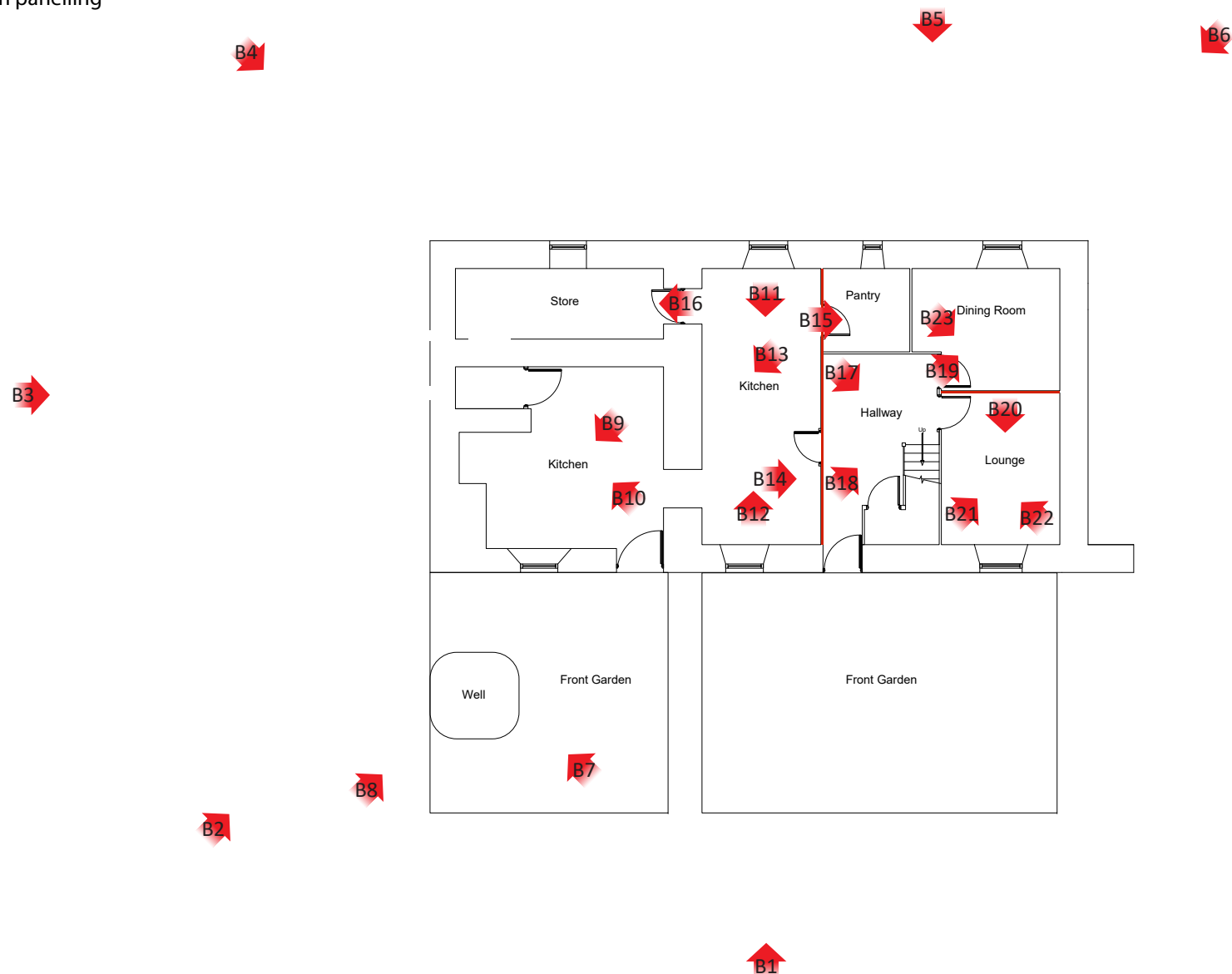


EXISTING GROUND FLOOR PLAN



EXISTING FIRST FLOOR PLAN

Wooden panelling



APPENDIX II – UNIT 2

Planning Application ref: 49C289H/LB

Site name: Cleifiog Fawr, Unit 2, Gorad Road, Valley, Isle of Anglesey LL65 3BG

Statutory Protection: Grade II Listed Building (ref: 19234)

Date of record: 15th November 2016

Recorded by: Richard Cooke BA MA MCIfA and Josh Dean BA ACIfA

External description (plates C-01 - C-03; figures C-01 and C-02)

Unit 2 of Cleifiog Fawr is centred on NGR SH 29586 80114 and forms the central part of a north-south range which includes Units 1 and 3. It is a two-storey rectangular farm building orientated north to south.

The structure has a double-pitched roof of small grey slates and slate ridge tiles, many of which have slipped and fallen. The walls are of rubble masonry, front face rendered, rear with widely slobbered mortar.

The western elevation has a three-pane fixed window at first floor level at the left end, in unpainted wooden frames and now boarded up. At the right end is a five-pane fixed window, also in unpainted wooden frames and boarded up. To the left of centre a single doorway that permits access into the first-floor granary via an unpainted wooden board door which is accessed via external steps of stone rubble bonded by mortar, alighting to the south.

There is a single doorway opening with radiating red-brick voussoirs at the right end at ground level, that permits access into the barn. To either side of this are two window openings, both with radiating red-brick voussoirs but now blocked up with red-brick.

At the left end a wide opening with red-brick flat-arch permits access into the Cart Shed.

The eastern elevation has a single doorway at first floor level and at the left end, with unpainted wooden board door. At the right end is a window opening but without frame or glass. There is a fixed three-pane window in unpainted wooden frame at the left end at ground level, and a single doorway at the right end that permits access into the cart shed via an unpainted gated door.

The eastern elevation is largely dominated at ground level by an attached outbuilding with mono-pitch roof of corrugated iron. This structure is also of stone rubble bonded by mortar and is rectangular in shape, orientated north to south. The outbuilding is featureless aside from doorway openings in the southern and northern elevations, that permit access into the outbuilding but have had their doors removed. To the immediate north of the outbuilding a circular quern stone has been deposited which is likely to have originally been mounted within the granary.

Internal description (plates C-04 - C-13; figures C-01 and C-02)

Cart Shed

A rectangular room measuring 5.25m in length by 4.5m in width, orientated east to west. There is a centralised sawn wooden beam which has been hand bevelled running north to

south, above which are sawn wooden joists running east to west. The walls are all of the stone rubble masonry bonded by mortar with remnants of a white-painted plaster.

The northern elevation is featureless.

The eastern elevation has a single doorway at the left-hand end that permit access to the rear of the property via and unpainted wooden gate in unpainted wooden frame.

The southern elevation is featureless

The western elevation has a large centralised cart door with a sawn wooden lintel and red-brick flat arch, but is otherwise featureless. The floor is of compacted soil.

Barn

A rectangular room measuring 6.2m in length by 5.25m in width, orientated north to south. There is a centralised sawn wooden beam running north to south and supporting sawn wooden joists above. In addition there is a sawn wooden tie-beam running east to west to the south of centre, which has stops on its southern face. The walls are all of stone rubble bonded by mortar with the remnants of white-painted plaster throughout.

The northern elevation is featureless aside from a wooden trough and a wooden supporting pillar at the right-hand end.

The eastern elevation has a single recessed doorway at the left-hand end that permit access to the rear of the property via an unpainted wooden board door and frame, above which is a wooden lintel. At the centre of the elevation is a recessed aumbury and at the right-hand end is a single recessed window with unpainted wooden frame, sawn wooden lintel, and concrete sill, which has been partially boarded up.

The southern elevation has a single doorway to the right of centre which permits access to Unit 3, however the doorway has been boarded up and is not visible.

The western elevation has a centralised single doorway opening that permits access to the front of the property. To the left and right of the doorway opening are two single recessed windows which have been bricked up. The floor is of compacted soil.

Outbuilding

A rectangular room measuring 3.5m in length by 2.4m in width, orientated north to south. The ceiling is open to the roof space which is of corrugated iron sheet supported by a single sawn wooden beam running north to south. Beneath this a supporting tie-beam of sawn timber runs east to west between the east and west elevations.

The walls are all of stone rubble bonded by mortar with the remnants of white-painted plaster. The northern elevation has a single doorway at the left end that permits access to the rear of the unit via a red-painted wooden stable door in red-painted frame. The eastern elevation is featureless aside from a large hole in the wall at the right end that appears to have a stone lintel, possibly having been a doorway.

The southern elevation has a single doorway to the right of centre that permits access to the rear of the unit, although the door has been removed. The western elevation has a single doorway at the left end that permits access into the barn via an unpainted wooden board door

and frame. To the immediate right of this a wooden chute at head height leads upward into the granary loft and would have been utilised to siphon grain husks into the outbuilding for disposal.

The floor is of compacted soil.

Granary

A rectangular room measuring 4.8m in length by 5.25m in width, orientated east to west. The ceiling is open to the rafters and roof batons which are supported on two sawn wooden purlins running north to south. The walls are all of stone rubble bonded by mortar with the remnants of a white-painted plaster throughout.

The northern elevation is featureless.

The eastern elevation has a single window opening to the left of centre with the remains of an unpainted wooden frame but the window glass is gone.

The southern elevation has a single doorway to the left of centre that leads into a second granary but was inaccessible due to unsafe floorboards.

The western elevation has a single recessed window to the right of centre with sawn wooden lintel and frames but the glass is missing. There is a single doorway at the left-hand end that permits access to the front of the property via a black-painted wooden door and frame and above which is a sawn unpainted wooden lintel. The floor is of wooden floorboards that have collapsed to the ground floor in many places are unsafe to walk on.



Plate C-01: Cleifiog Fawr Unit 2, from the west. Scale 1.0m.



Plate C-02: Cleifiog Fawr Unit 2, from the east. Scale 1.0m.



Plate C-03: Cleifiog Fawr Unit 2 outbuilding, from the southeast. Scale 1.0m.



Plate C-04: Cleifiog Fawr Unit 2 Cart Shed, from the west. Scale 1.0m.



Plate C-05: Cleifiog Fawr Unit 2 Barn, from the southwest. Scale 1.0m.



Plate C-06: Cleifiog Fawr Unit 2 Barn, from the southeast. Scale 1.0m.



Plate C-07: Cleifiog Fawr Unit 2 Barn showing wooden trough, from the south. Scale 1.0m.



Plate C-08: Cleifiog Fawr Unit 2 Outbuilding, from the north. Scale 1.0m.



Plate C-09: Cleifiog Fawr Unit 2 Outbuilding, from the south. Scale 1.0m.



Plate C-10: Cleifiog Fawr Unit 2 Outbuilding showing granary chute, from the east. Scale 1.0m.



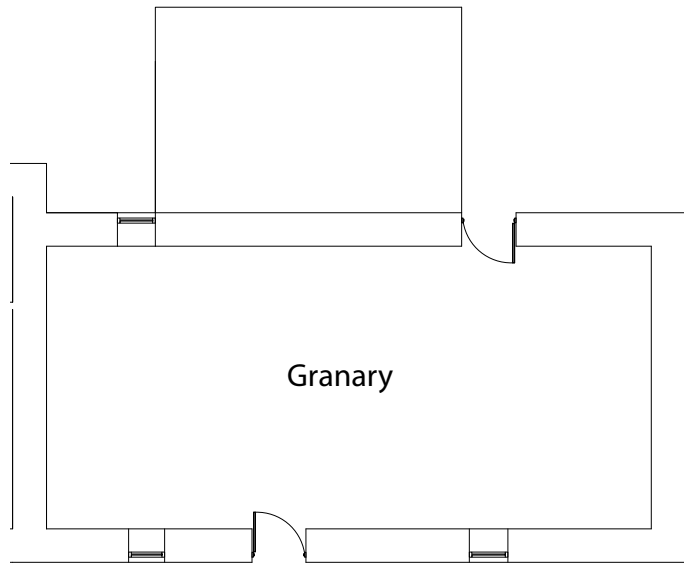
Plate C-11: Cleifiog Fawr Unit 2 showing quern stone, from the north. Scale 1.0m.



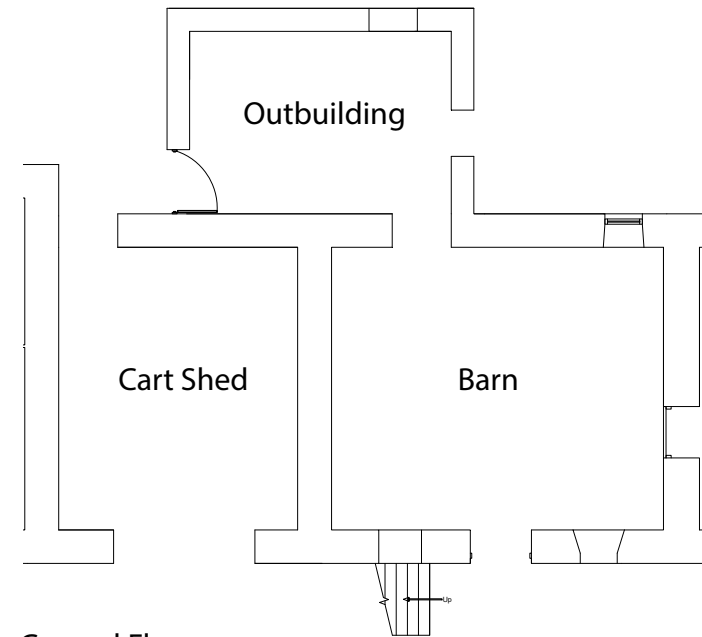
Plate C-12: Cleifiog Fawr Unit 2 Granary, from the west.



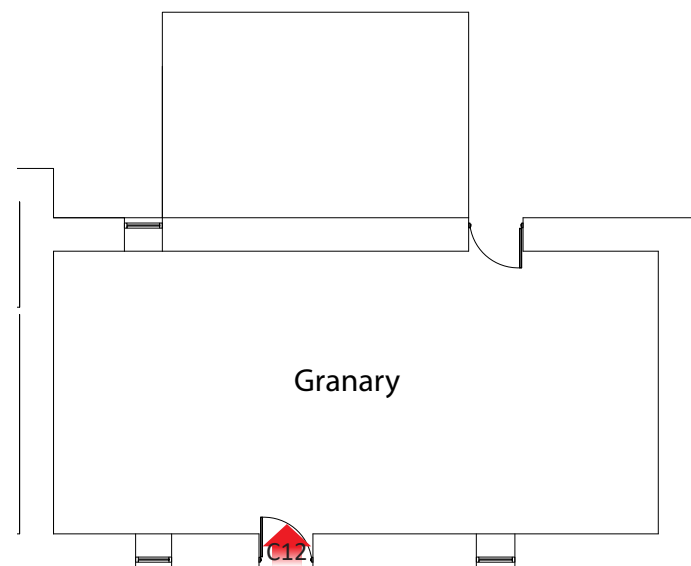
Plate C-13: Cleifiog Fawr Unit 2 external steps, from the southwest. Scale 1.0m.



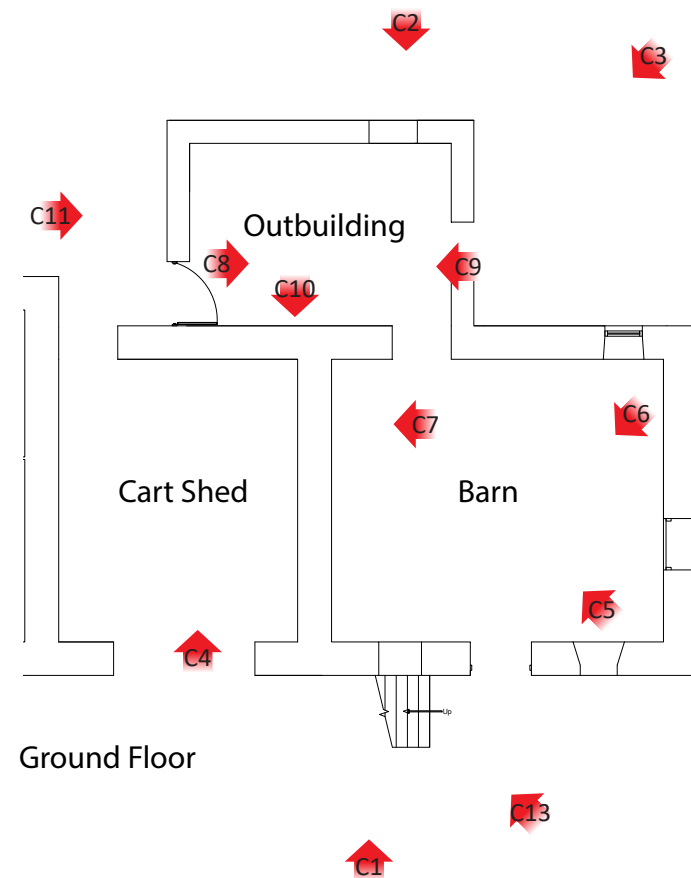
First Floor



Ground Floor



First Floor



Ground Floor



APPENDIX III – UNIT 3

Planning Application ref: 49C289H/LB

Site name: Cleifiog Fawr, Unit 3, Gorad Road, Valley, Isle of Anglesey LL65 3BG

Statutory Protection: Grade II Listed Building (ref: 19234)

Date of record: 15th November 2016

Recorded by: Richard Cooke BA MA MCIfA and Josh Dean BA ACIfA

External description (plates D-01 - D-03; figures D-01 and D-02)

Unit 3 of Cleifiog Fawr is centred on NGR SH 29581 80097 and forms the southern part of a north-south range which includes Units 1 and 2. It is a single-storey rectangular farm building orientated north to south.

The structure has a double-pitched roof of small grey slates and slate ridge tiles, with four equally spaced roof-lights in the western pitch. The walls are of rubble masonry, front face rendered and painted white, side with widely slobbered mortar.

The principle western elevation has a cast-iron gutter at eaves height which runs into two cast-iron downpipes to the left of centre. Beneath the eaves are six equally spaced rectangular pigeon holes, and there is a single doorway at the left end that permits access to the stables via a red-painted door. To the immediate right of this is a semi-circular brick wall surrounding the downpipes and drain.

To the right of the wall are four equally spaced embrasures between which are two double windows at the left and right ends, and a single window at the centre, all of which have white-painted radiating brick voussoirs and are without glass.

The southern elevation has a centralised wide opening with iron rail lintel, permitting access into the barn and above which repair work has been undertaken with red-brick.

Internal description (plates D-04 - D-06; figures D-01 and D-02)

Stables

A rectangular room measuring 7.1m in length by 5.25m in width, orientated north to south. The ceiling is open to the roof space where there is a single rooflight window on the western roof pitch to the south of centre. There are four sawn wooden purlins orientated north to south supported by two A-frame trusses of sawn timber. A wooden framing runs between all four elevations and originally held the wooden stable stalls, now removed. All the elevations are of stone rubble bonded by mortar and are mostly covered in white-painted plaster.

The northern elevation has a single recessed doorway to the left of centre that permits access to Unit 2 Barn via a dark-stained wooden board door with a lintel of sawn wood. The eastern elevation is featureless aside from two equally spaced rectangular pigeon holes at eaves height.

The southern elevation is featureless. The western elevation has a single doorway to the right of centre permitting access to the front of the property via a red-painted wooden board door.

The floor is of poured concrete.

Barn

A rectangular room measuring 14.0m in length by 5.25m in width, orientated north to south. The ceiling is open to the roof space which has three equally spaced roof-lights in the western pitch. There are five equally spaced A-frame trusses of sawn timber which support four sawn timber purlins running north to south. The walls are all of stone rubble bonded by mortar and with the remnants of white-painted plaster throughout.

The northern elevation is featureless.

The eastern elevation has two embrasures situated at the left and right hand ends. There is a single doorway opening to the left of centre with iron rail lintel and wooden frame, that permits access into Unit 4 Barn 1. At the right end is a modern breeze-block tank.

The southern elevation has a large centralised opening permitting access to the side of the Unit, with iron rail lintel above which repair work has been undertaken using red-brick.

The western elevation has four equally spaced rectangular pigeon holes at eaves height, beneath which are four equally spaced embrasures. Between these are situated a double window opening at the left and right ends, and a single centralised window opening, all without glass. Beneath the windows a breeze-block feeding trough with wooden silage racking runs the length of the elevation.

The floor is compacted soil.



Plate D-01: Cleifog Fawr Unit 3, from the west. Scale 1.0m.



Plate D-02: Cleifog Fawr Unit 3, from the southwest. Scale 1.0m.



Plate D-03: Cleifog Fawr Unit 3, from the south. Scale 1.0m.



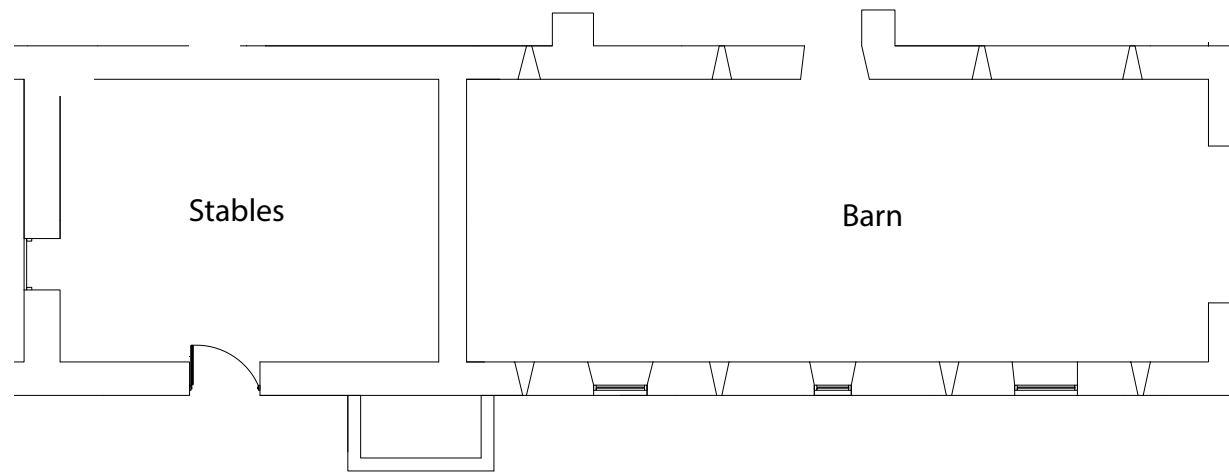
Plate D-04: Cleifiog Fawr Unit 3 Barn 1, from the south. Scale 1.0m.

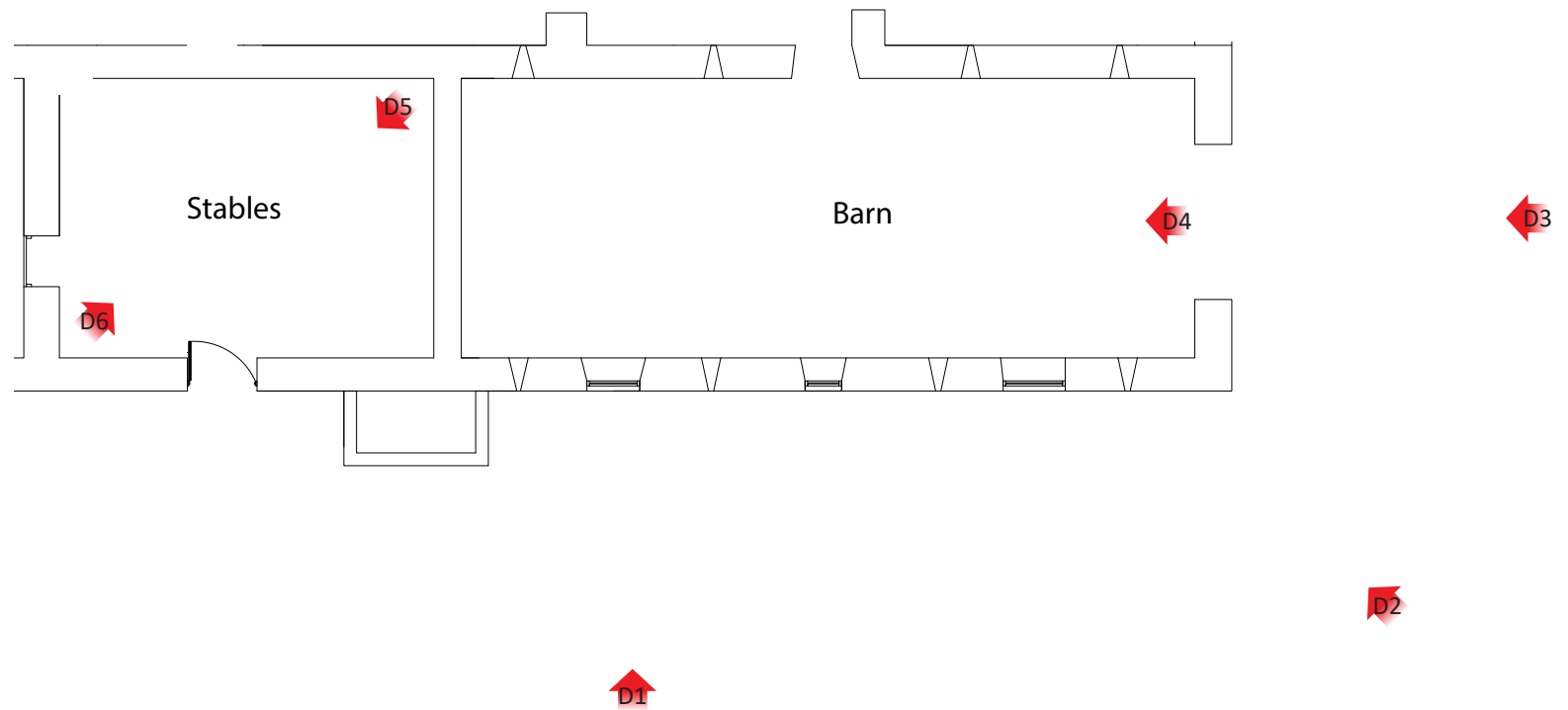


Plate D-05: Cleifog Fawr Unit 3 Stables 1, from the southeast. Scale 1.0m.



Plate D-06: Cleifog Fawr Unit 3 Stables 1, from the northwest. Scale 1.0m.





APPENDIX IV – UNIT 4

Planning Application ref: 49C289H/LB

Site name: Cleifiog Fawr, Unit 4, Gorad Road, Valley, Isle of Anglesey LL65 3BG

Statutory Protection: Grade II Listed Building (ref: 19234)

Date of record: 15th November 2016

Recorded by: Richard Cooke BA MA MCIfA and Josh Dean BA ACIfA

NGR: SH 29592 80093



Plate E-01: Cleifiog Fawr Unit 4, from the south. Scale 1.0m.



Plate E-02: Cleifiog Fawr Unit 4, from the southeast. Scale 1.0m.



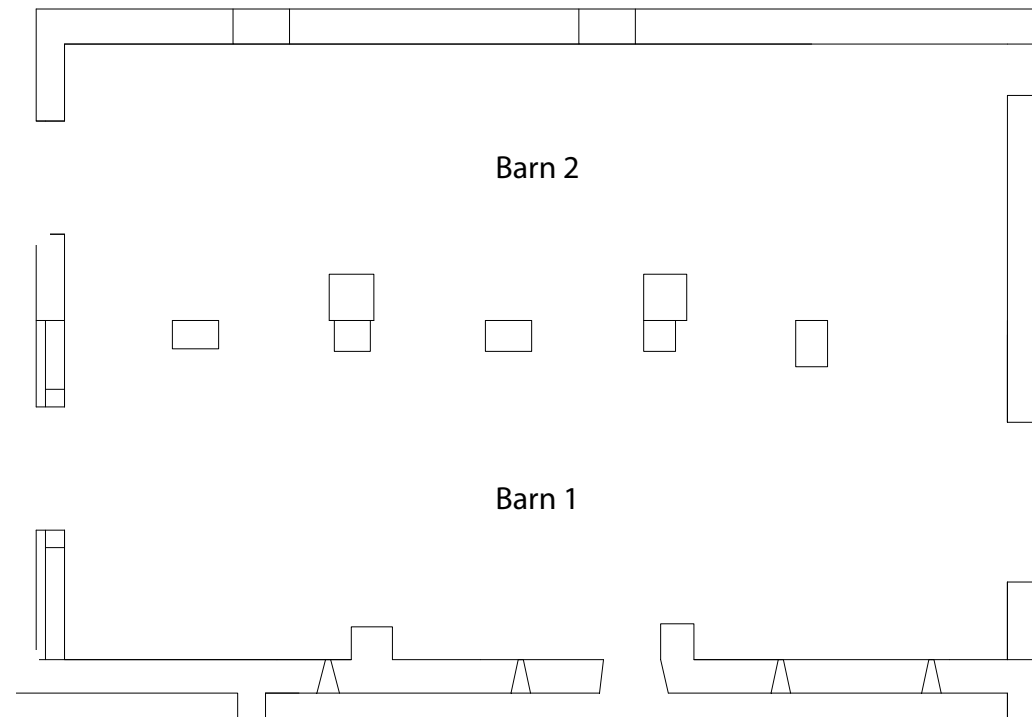
Plate E-03: Cleifiog Fawr Unit 4, from the northeast. Scale 1.0m.



Plate E-05: Cleifiog Fawr Unit 4 Barn 1, from the north. Scale 1.0m.



Plate E-06: Cleifiog Fawr Unit 4 Barn 2, from the north. Scale 1.0m.



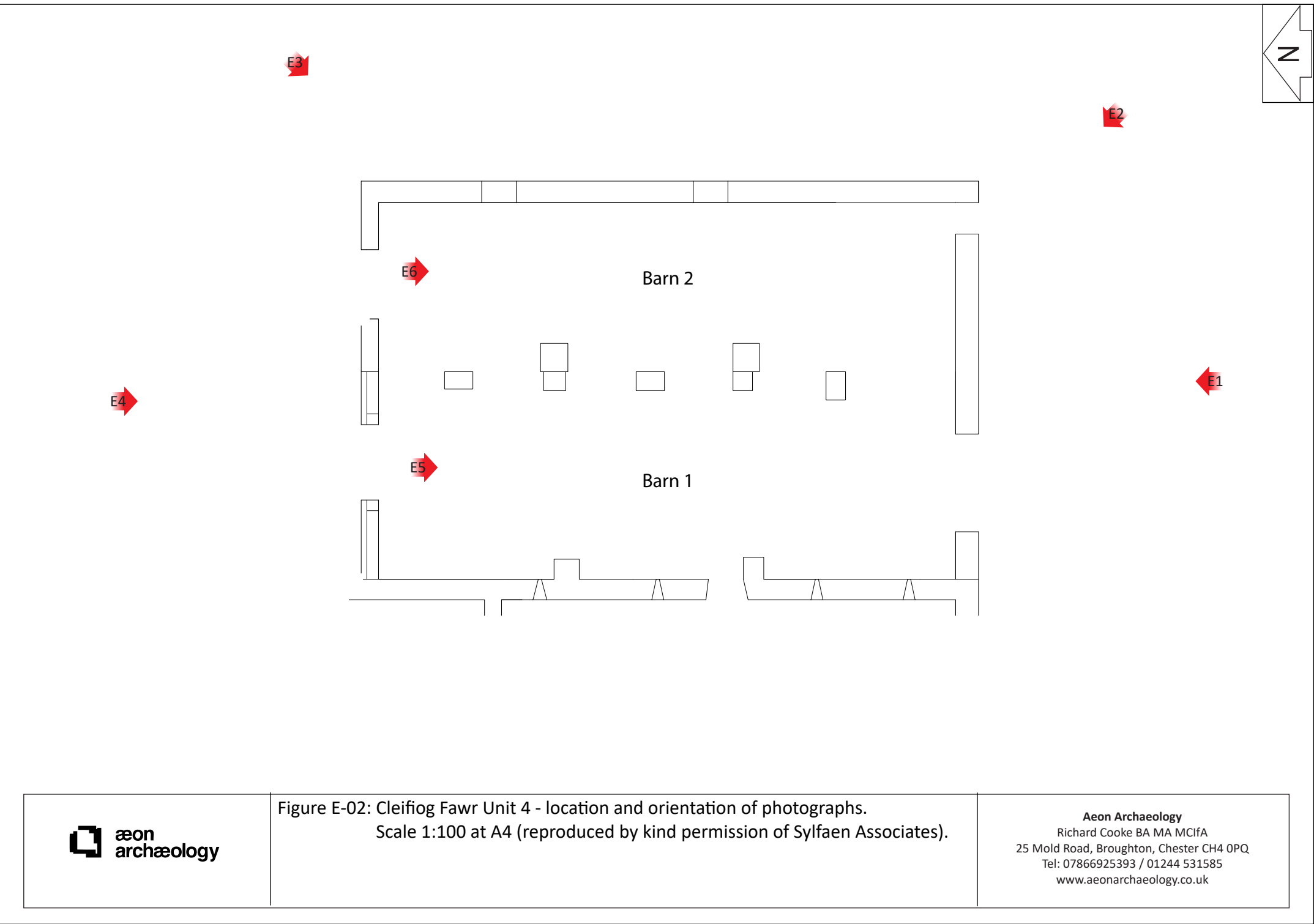


Figure E-02: Cleifiog Fawr Unit 4 - location and orientation of photographs.
Scale 1:100 at A4 (reproduced by kind permission of Sylfaen Associates).

APPENDIX V – UNIT 5

Planning Application ref: 49C289H/LB

Site name: Cleifiog Fawr, Unit 5, Gorad Road, Valley, Isle of Anglesey LL65 3BG

Statutory Protection: None

Date of record: 15th November 2016

Recorded by: Richard Cooke BA MA MCIfA and Josh Dean BA ACIfA

NGR: SH 29609 80087



Plate F-01: Cleifiog Fawr Unit 5, from the north. Scale 1.0m.



Plate F-02: Cleifiog Fawr Unit 5, from the northwest. Scale 1.0m.



Plate F-03: Cleifiog Fawr Unit 5, from the south. Scale 1.0m.



Plate F-04: Cleifiog Fawr Unit 5, from the southeast. Scale 1.0m.



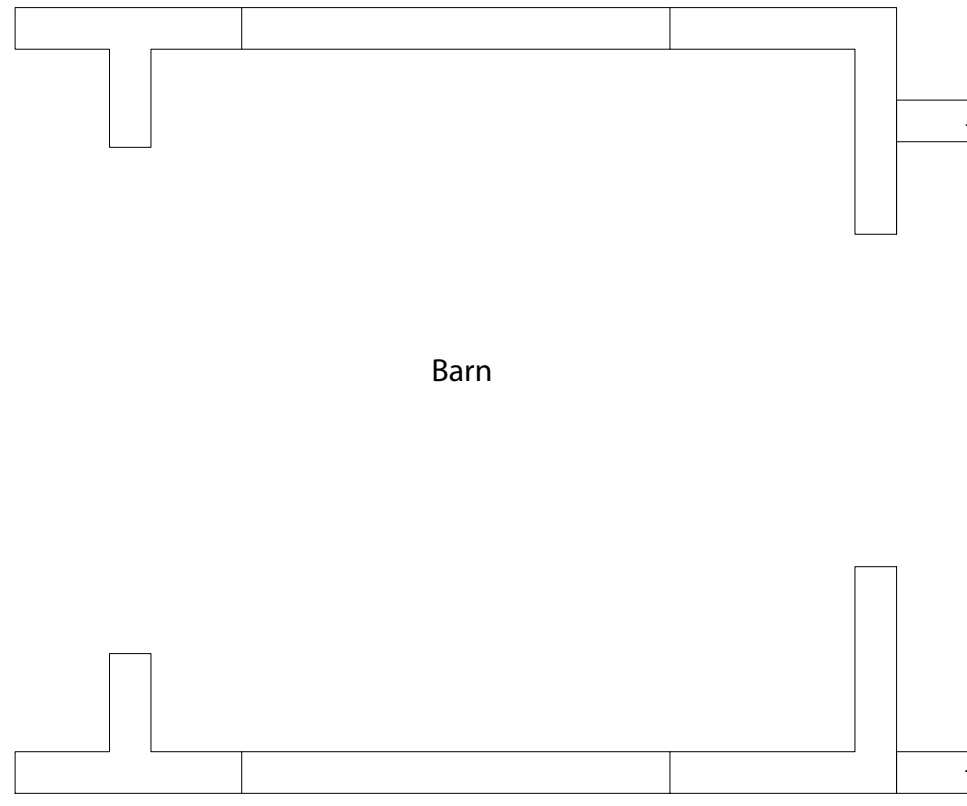
Plate F-05: Cleifiog Fawr Unit 5, from the east. Scale 1.0m.



Plate F-06: Cleifiog Fawr Unit 5, from the northeast. Scale 1.0m.



Plate F-07: Cleifiog Fawr Unit 5 Barn, from the south. Scale 1.0m.



F6

F5

F4

Z

F1

Barn

F7

F3

F2

APPENDIX VI – UNIT 6

Planning Application ref: 49C289H/LB

Site name: Cleifiog Fawr, Unit 6, Gorad Road, Valley, Isle of Anglesey LL65 3BG

Statutory Protection: None

Date of record: 15th November 2016

Recorded by: Richard Cooke BA MA MCIfA and Josh Dean BA ACIfA

NGR: SH 29600 80060



Plate G-01: Cleifog Fawr Units 6 and 7, from the northwest. Scale 1.0m.



Plate G-02: Cleifog Fawr Unit 6, from the north. Scale 1.0m.



Plate G-03: Cleifog Fawr Unit 6, from the northwest. Scale 1.0m.



Plate G-04: Cleifog Fawr Unit 6, from the south. Scale 1.0m.



Plate G-05: Cleifiog Fawr Unit 6, from the southeast. Scale 1.0m.



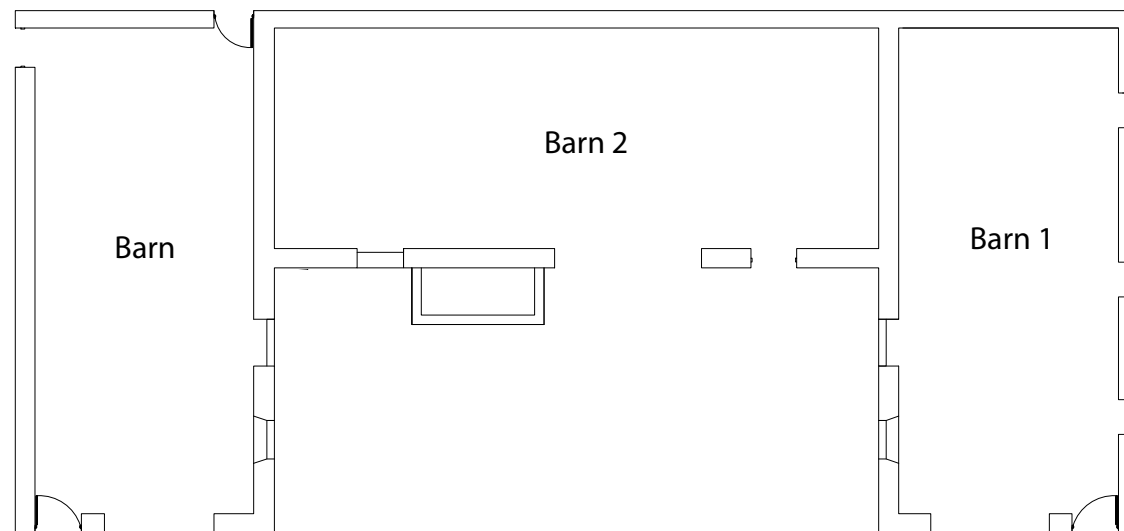
Plate G-06: Cleifog Fawr Unit 6, from the east. Scale 1.0m.



Plate G-07: Cleifog Fawr Unit 6 Barn, from the north. Scale 1.0m.



Plate G-08: Cleifog Fawr Unit 6 Barn, from the south. Scale 1.0m.





G6

G5

G4

G8

Barn

G7

G2

G3

G1

APPENDIX VII – UNIT 7

Planning Application ref: 49C289H/LB

Site name: Cleifiog Fawr, Unit 7, Gorad Road, Valley, Isle of Anglesey LL65 3BG

Statutory Protection: None

Date of record: 15th November 2016

Recorded by: Richard Cooke BA MA MCIfA and Josh Dean BA ACIfA

NGR: SH 29579 80065



Plate H-01: Cleifiog Fawr Unit 7 Barn, from the northeast. Scale 1.0m.



Plate H-02: Cleifiog Fawr Unit 7 Barn, from the north. Scale 1.0m.



Plate H-03: Cleifiog Fawr Unit 7 Barn, from the west. Scale 1.0m.



Plate H-04: Cleifiog Fawr Unit 7 Barn, from the southwest. Scale 1.0m.



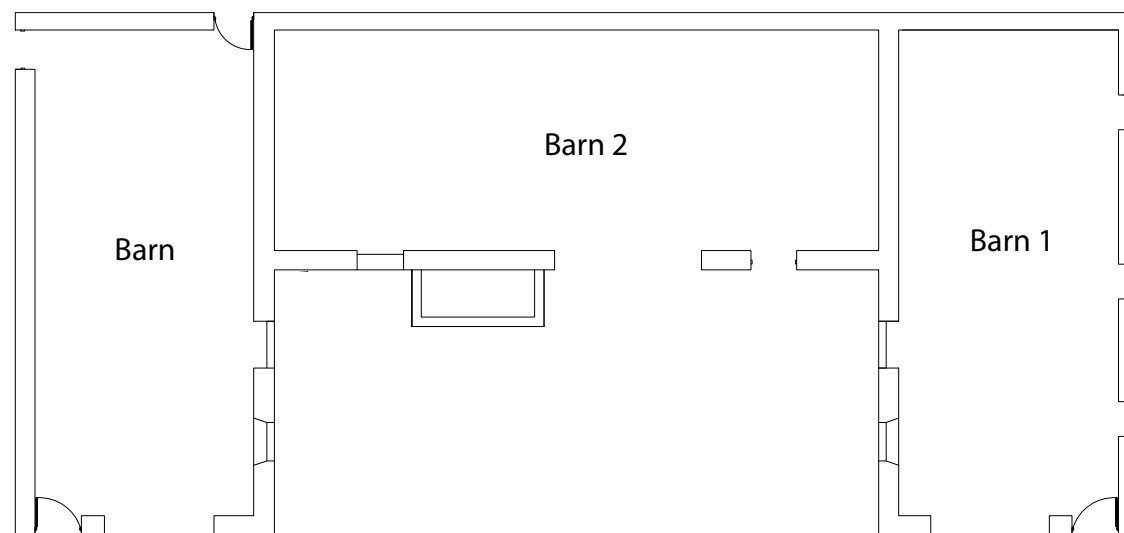
Plate H-05: Cleifog Fawr Unit 7, from the south. Scale 1.0m.

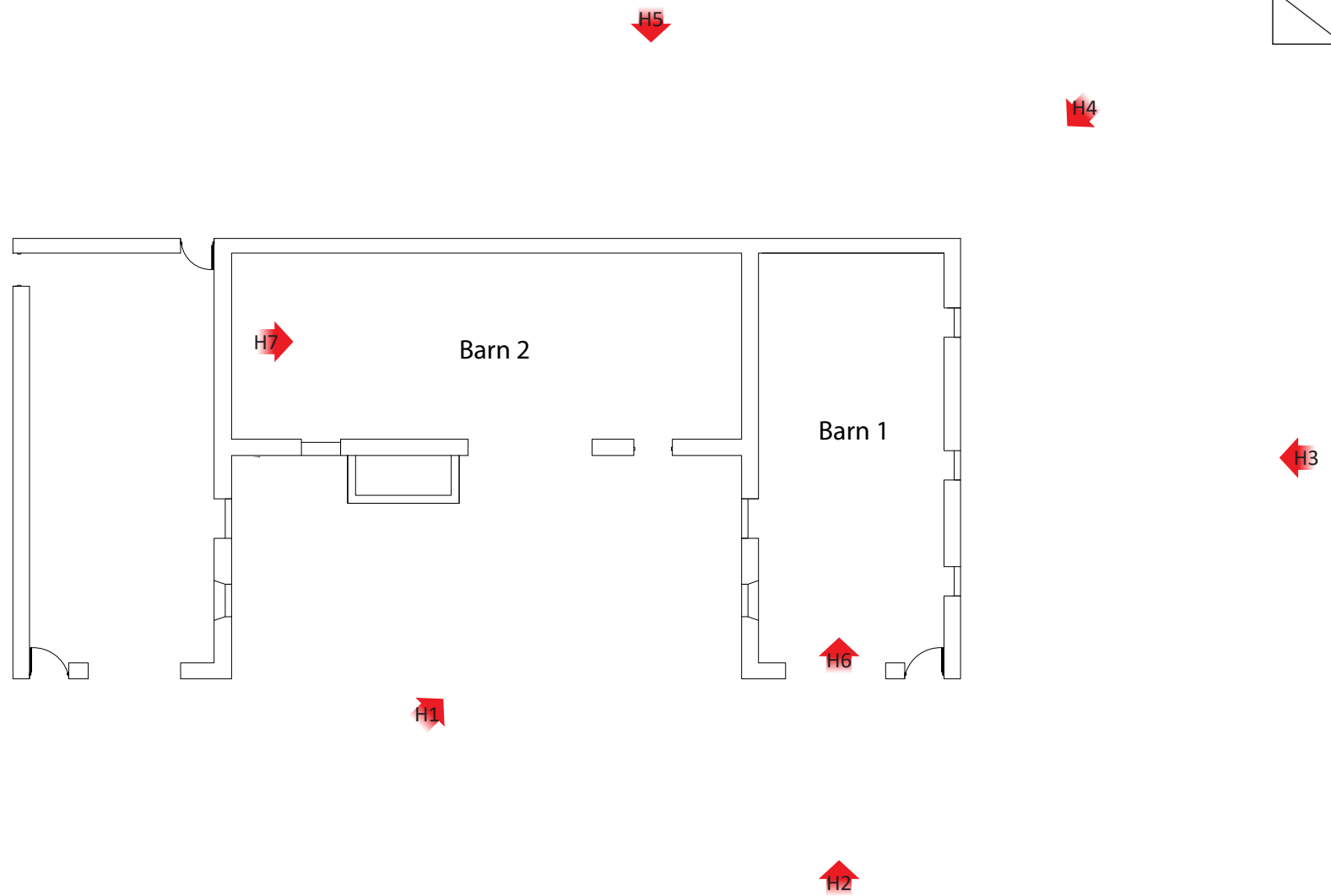


Plate H-06: Cleifiog Fawr Unit 7 Barn 1, from the north. Scale 1.0m.



Plate H-07: Cleifiog Fawr Unit 7 Barn 2, from the east. Scale 1.0m.





APPENDIX VIII – UNIT 8

Planning Application ref: 49C289H/LB

Site name: Cleifiog Fawr, Unit 8, Gorad Road, Valley, Isle of Anglesey LL65 3BG

Statutory Protection: Grade II Listed Building (ref: 19234)

Date of record: 15th November 2016

Recorded by: Richard Cooke BA MA MCIfA and Josh Dean BA ACIfA

External description (plates I-01 - I-08; figures I-01 and I-02)

Unit 8 of Cleifiog Fawr is centred on NGR SH 29564 80080. It is a single-storey rectangular farm building orientated east to west.

The structure has a double-pitched roof of corrugated iron sheet with grey ridge tiles, and has a single square rendered chimney stack straddling the roof pitch in the eastern half. The walls are of rubble masonry bonded by mortar with white-painted render to the principle (northern elevation).

The northern elevation has a single doorway at the right end that permits access into the forge via an unpainted wooden stable door with cast-iron straps. To the left of centre another single doorway permits access into workshop 1 via a red-painted wooden board door and frame. Between these two doors is a single fixed window opening with red-painted frame but without glass. There is another single doorway opening at the left end that permits access into workshop 2 although the door has been removed. To the immediate left of this is a single fixed four-pane window in red-painted frame but without glass.

The eastern elevation has a single centralised fixed eight-pane window in red-painted wooden frames, stone lintel and sill, and without glass. The right hand reveal has been repaired using unfrosted red-brick.

The southern elevation has a three-pane fixed window with unpainted wooden frames and stone sill at the right hand end. Towards the centre of the elevation a single doorway appears to have been blocked up with stone slabs bonded by mortar, and a double doorway opening has been blocked with stone rubble bonded by mortar at the left end.

The western elevation has several phases of repair and a horizontal stone at the left end may be the lintel of a former window opening.

Internal description (plates I-09 - I-15; figures I-01 and I-02)

Forge

A square room measuring 4.8m. The ceiling is open to the roof space which has a single centralised A-frame truss of sawn timber supporting four purlins of sawn timber running east to west. The walls are all of stone rubble bonded by mortar with the remains of a white-painted plaster.

The western elevation is featureless.

The northern elevation has a single doorway at the left end permitting access to the front of the Unit via a red-painted wooden stable door. There is a single window opening at the right end with sawn wooden unpainted frame but without glass.

The eastern elevation is featureless.

The southern elevation has a well preserved wood and leather bellows supported by an upright timber frame, and operated by a hand-carved wooden handle and metal chain. The bellows feeds directly into a forge bed constructed from stone rubble bonded by mortar and with a red-brick chimney between.

The floor is of compacted soil.

Workshop 1

A square room measuring 4.8m. The ceiling is open to the roof space which has a single centralised A-frame truss of sawn timber supporting four purlins of sawn timber running east to west. The walls are all of stone rubble bonded by mortar with the remains of a white-painted plaster.

The northern elevation has a single centralised doorway permitting access to the front of the unit via a red-painted wooden board door and frame. The eastern elevation has a centralised hearth and internal chimney stack of stone rubble bonded by mortar but is otherwise featureless.

The southern elevation has a single window opening at the left end with sawn timber lintel and stone sill, which has been blocked with stone slabs, although the external elevation suggests that this was in fact a former doorway. The western elevation has a recessed cupboard at the left end with unpainted wooden frame and board door.

The floor is of compacted soil.

Workshop 2

A square room measuring 4.8m. The ceiling is open to the roof space which has a single centralised A-frame truss of sawn timber supporting four purlins of sawn timber running east to west. The walls are all of stone rubble bonded by mortar, plastered and painted white.

The northern elevation has a single doorway opening at the left end that permits access to the front of the unit, and a fixed four-pane window in red-painted wooden frames but without glass at the right end.

The eastern elevation has a centralised fixed eight-pane window in red-painted wooden frames but is otherwise featureless. The southern elevation has a slate slab workbench at the left end supported on two stone pillars, plastered and painted white. There is a centralised three-pane window in unpainted wooden frames.

The western elevation is featureless.

The floor is of compacted soil.



Plate I-01: Cleifiog Fawr Unit 8, from the north. Scale 1.0m.



Plate I-02: Cleifiog Fawr Unit 8, from the northeast. Scale 1.0m.



Plate I-03: Cleifiog Fawr Unit 8, from the east. Scale 1.0m.



Plate I-04: Cleifiog Fawr Unit 8, from the southeast. Scale 1.0m.



Plate I-05: Cleifiog Fawr Unit 8, from the south. Scale 1.0m.



Plate I-06: Cleifiog Fawr Unit 8, from the southwest. Scale 1.0m.



Plate I-07: Cleifiog Fawr Unit 8, from the west. Scale 1.0m.



Plate I-08: Cleifiog Fawr Unit 8, from the northwest. Scale 1.0m.



Plate I-09: Cleifiog Fawr Unit 8 forge, from the northwest. Scale 1.0m.



Plate I-10: Cleifiog Fawr Unit 8 forge, from the southeast. Scale 1.0m.



Plate I-11: Cleifiog Fawr Unit 8 forge showing bellows and furnace, from the north. Scale 1.0m.



Plate I-12: Cleifiog Fawr Unit 8 Workshop 1, from the northwest. Scale 1.0m.



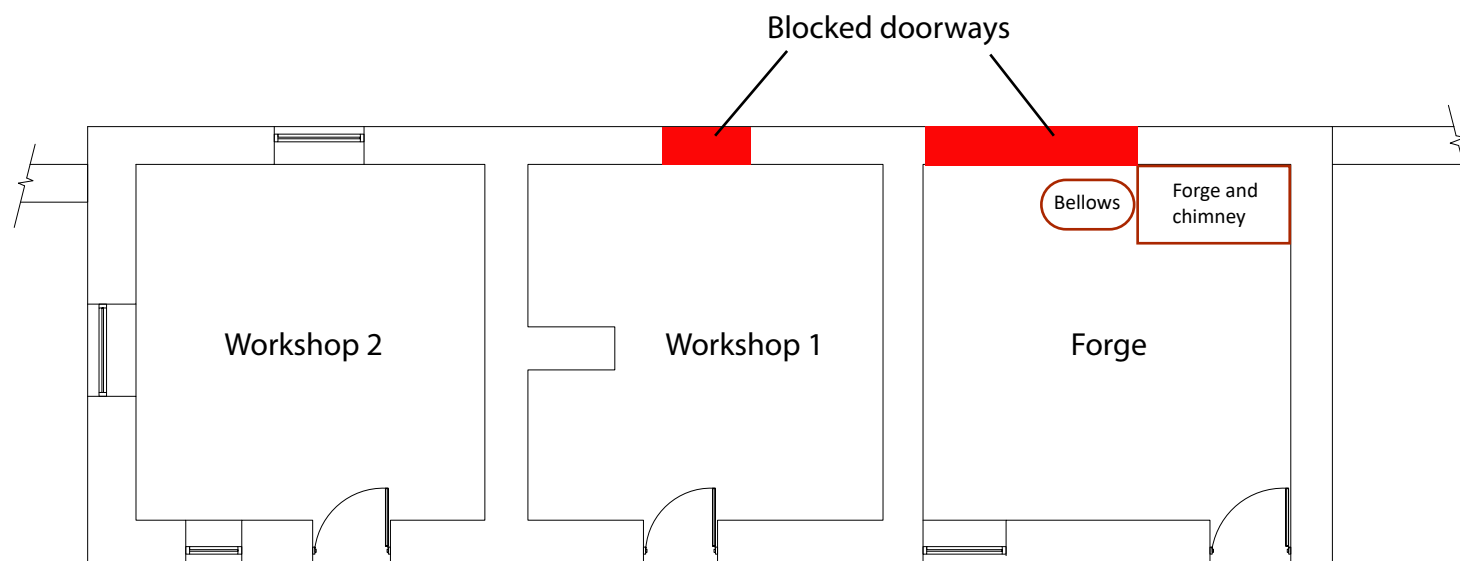
Plate I-13: Cleifiog Fawr Unit 8 Workshop 1, from the east. Scale 1.0m.

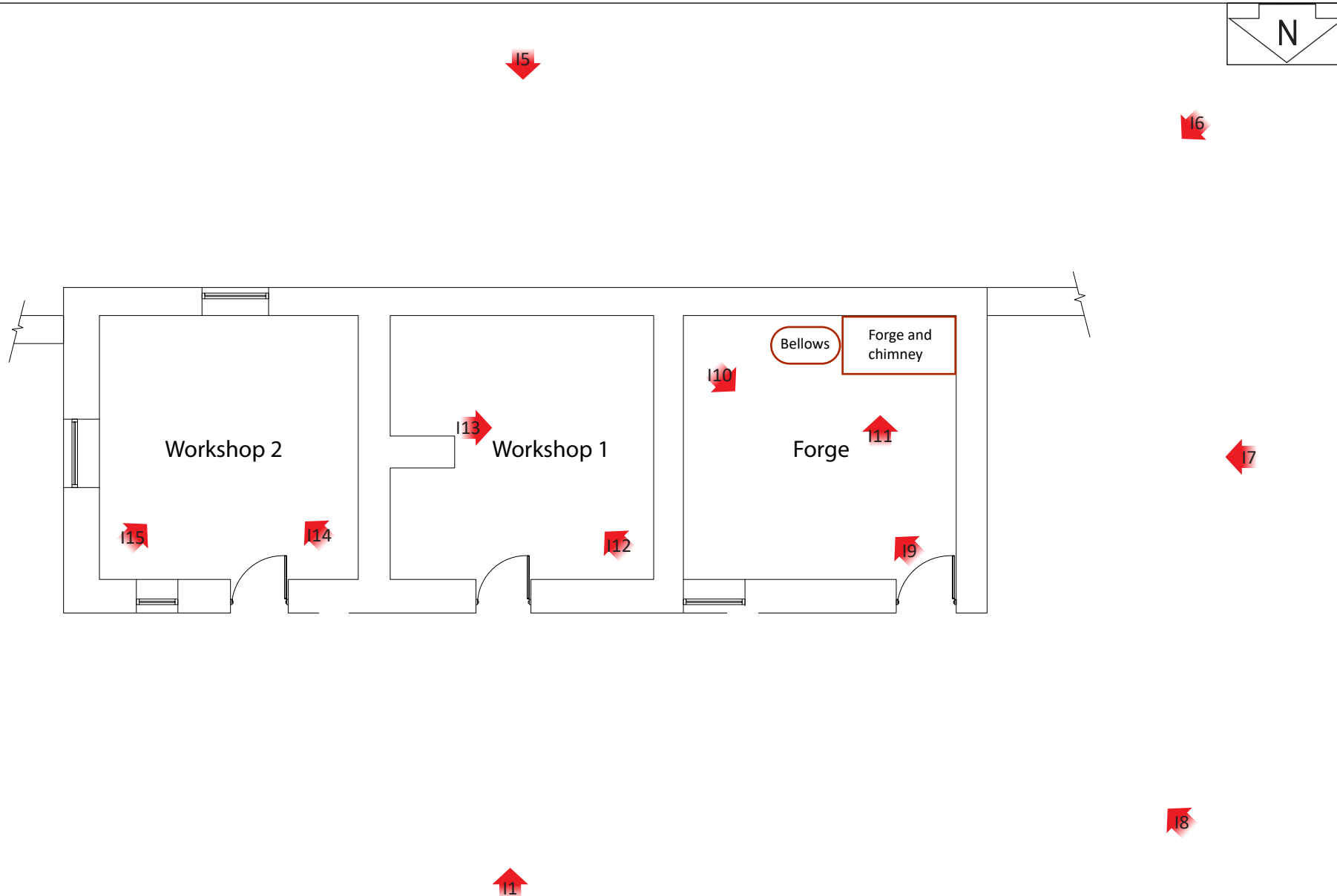


Plate I-14: Cleifiog Fawr Unit 8 Workshop 2, from the northwest. Scale 1.0m.



Plate I-15: Cleifiog Fawr Unit 8 Workshop 2, from the northeast. Scale 1.0m.





APPENDIX IX – UNIT 9

Planning Application ref: 49C289H/LB

Site name: Cleifiog Fawr, Unit 9, Gorad Road, Valley, Isle of Anglesey LL65 3BG

Statutory Protection: None

Date of record: 15th November 2016

Recorded by: Richard Cooke BA MA MCIfA and Josh Dean BA ACIfA

NGR: SH 29537 80080



Plate J-01: Cleifiog Fawr Unit 9, from the northwest. Scale 1.0m.



Plate J-02: Cleifiog Fawr Unit 9, from the northeast. Scale 1.0m.



Plate J-03: Cleifiog Fawr Unit 9, from the east. Scale 1.0m.



Plate J-04: Cleifiog Fawr Unit 9, from the southeast. Scale 1.0m.



Plate J-05: Cleifiog Fawr Unit 9, from the south. Scale 1.0m.



Plate J-06: Cleifiog Fawr Unit 9, from the southwest. Scale 1.0m.



Plate J-07: Cleifiog Fawr Unit 9, from the west. Scale 1.0m.



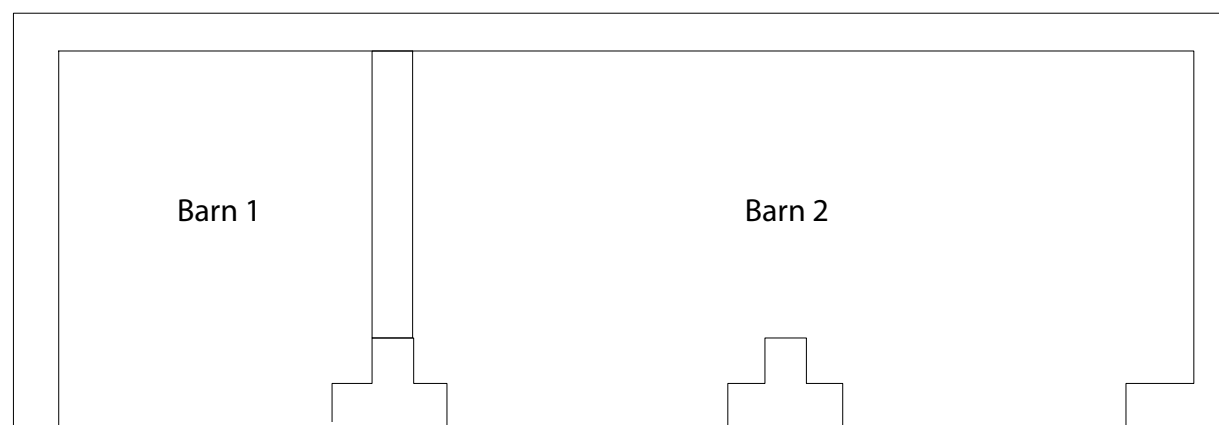
Plate J-08: Cleifiog Fawr Unit 9 barn 1, from the north. Scale 1.0m.



Plate J-09: Cleifiog Fawr Unit 9 barn 2, from the northeast. Scale 1.0m.



Plate J-10: Cleifiog Fawr Unit 9 barn 2, from the northwest. Scale 1.0m.



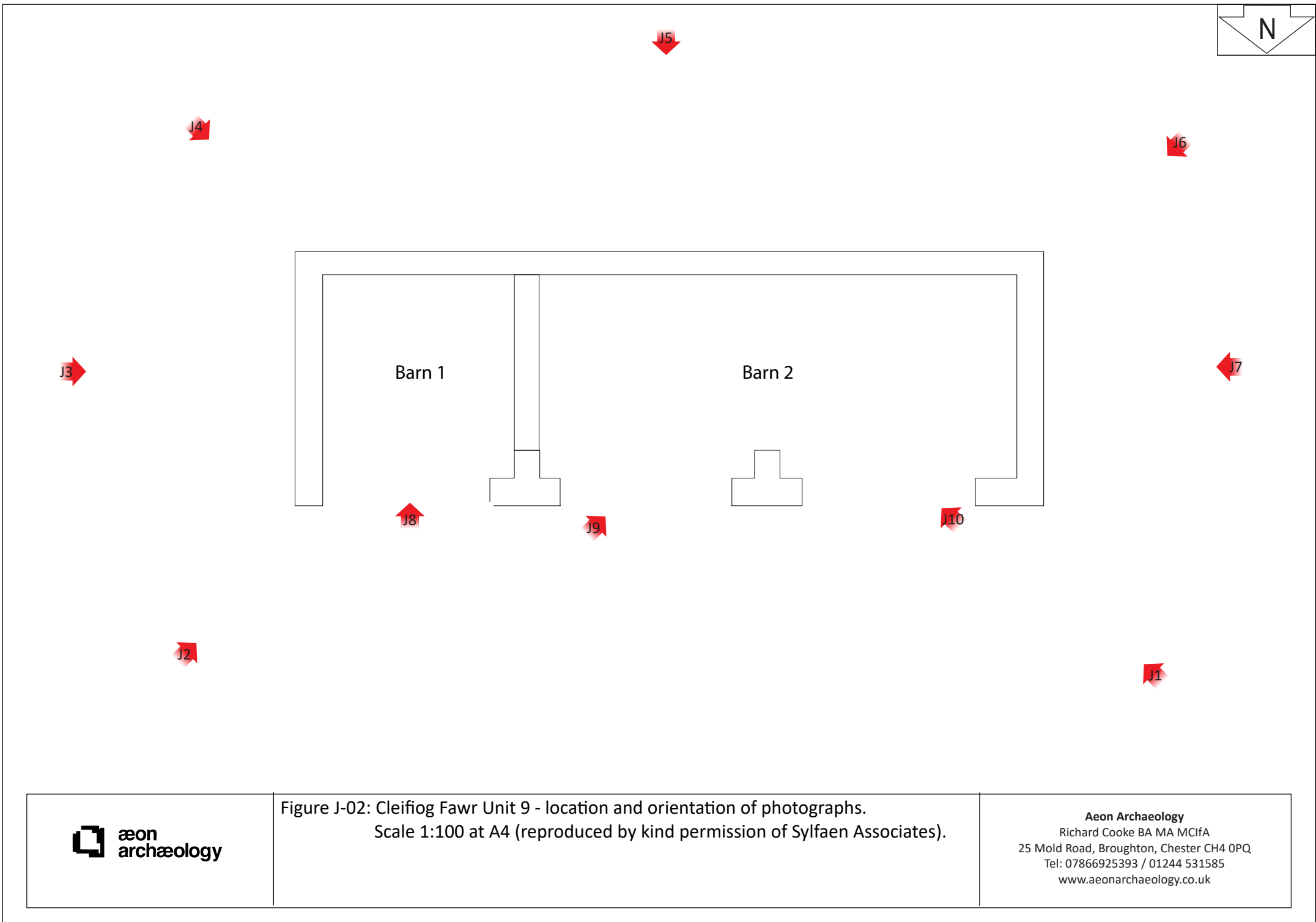


Figure J-02: Cleifiog Fawr Unit 9 - location and orientation of photographs.
Scale 1:100 at A4 (reproduced by kind permission of Sylfaen Associates).

APPENDIX X – UNIT 10

Planning Application ref: 49C289H/LB

Site name: Cleifiog Fawr, Unit 10, Gorad Road, Valley, Isle of Anglesey LL65 3BG

Statutory Protection: None

Date of record: 15th November 2016

Recorded by: Richard Cooke BA MA MCIfA and Josh Dean BA ACIfA

NGR: SH 29609 80160



Plate K-01: Cleifiog Fawr Unit 10 (western part), from the south. Scale 1.0m.



Plate K-02: Cleifiog Fawr Unit 10 (eastern part), from the south. Scale 1.0m.



Plate K-03: Cleifiog Fawr Unit 10, from the southeast. Scale 1.0m.



Plate K-04: Cleifiog Fawr Unit 10, from the east. Scale 1.0m.



Plate K-05: Cleifiog Fawr Unit 10, from the northeast. Scale 1.0m.



Plate K-06: Cleifiog Fawr Unit 10, from the north. Scale 1.0m.



Plate K-07: Cleifiog Fawr Unit 10, from the northwest. Scale 1.0m.



Plate K-08: Cleifiog Fawr Unit 10, from the west. Scale 1.0m.



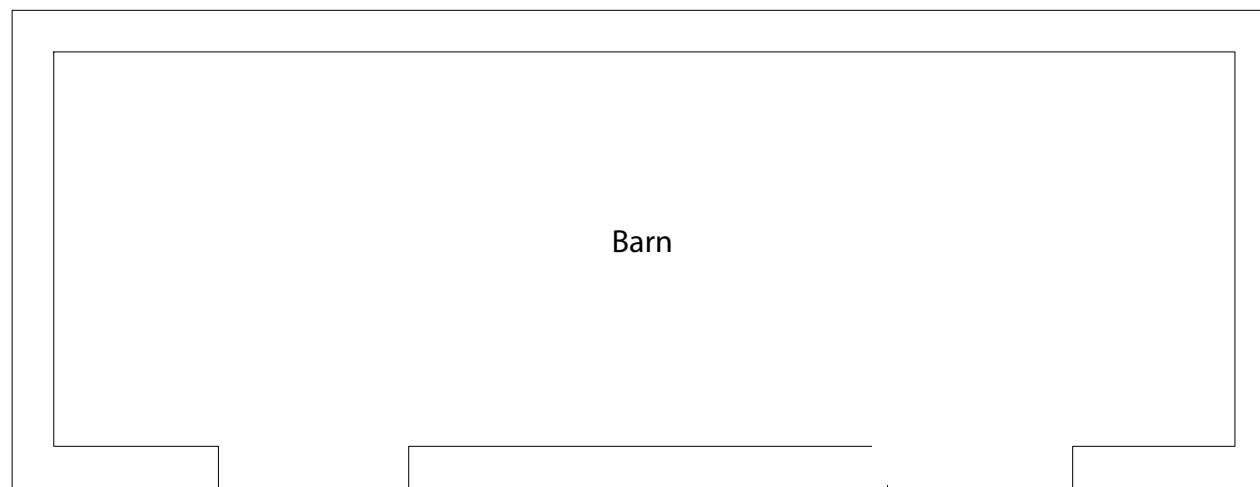
Plate K-09: Cleifiog Fawr Unit 10, from the southwest. Scale 1.0m.



Plate K-10: Cleifiog Fawr Unit 10 Barn, from the east. Scale 1.0m.



Plate K-11: Cleifiog Fawr Unit 10 Barn, from the west. Scale 1.0m.





Barn



APPENDIX XI – UNIT 11

Planning Application ref: 49C289H/LB

Site name: Cleifiog Fawr, Unit 11, Gorad Road, Valley, Isle of Anglesey LL65 3BG

Statutory Protection: None

Date of record: 15th November 2016

Recorded by: Richard Cooke BA MA MCIfA and Josh Dean BA ACIfA

NGR: SH 29605 80143



Plate L-01: Cleifiog Fawr Unit 11, from the north. Scale 1.0m.



Plate L-02: Cleifiog Fawr Unit 11, from the northwest. Scale 1.0m.



Plate L-03: Cleifiog Fawr Unit 11, from the southwest. Scale 1.0m.



Plate L-04: Cleifiog Fawr Unit 11, from the south. Scale 1.0m.



Plate L-05: Cleifiog Fawr Unit 11, from the southeast. Scale 1.0m.



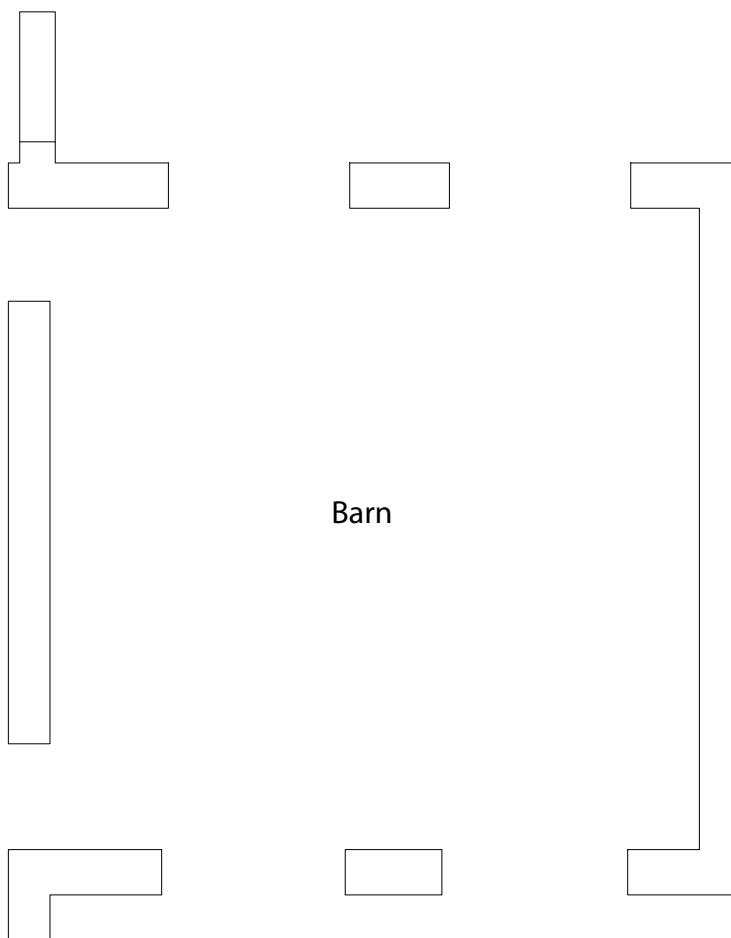
Plate L-06: Cleifiog Fawr Unit 11, from the northeast. Scale 1.0m.



Plate L-07: Cleifiog Fawr Unit 11 Barn, from the east. Scale 1.0m.



Plate L-08: Cleifiog Fawr Unit 11 Barn, from the west. Scale 1.0m.

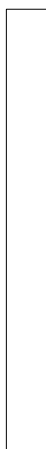
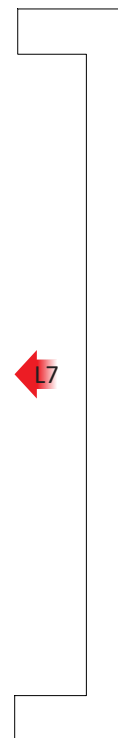
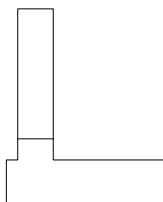




L2

L1

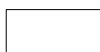
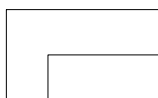
L6



Barn

L8

L7



L3

L4

L5



Figure L-02: Cleifiog Fawr Unit 11 - location and orientation of photographs.
Scale 1:100 at A4 (reproduced by kind permission of Sylfaen Associates).

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Tel: 07866925393 / 01244 531585
www.aeonarchaeology.co.uk

APPENDIX XII – UNIT 12

Planning Application ref: 49C289H/LB

Site name: Cleifiog Fawr, Unit 12, Gorad Road, Valley, Isle of Anglesey LL65 3BG

Statutory Protection: None

Date of record: 15th November 2016

Recorded by: Richard Cooke BA MA MCIfA and Josh Dean BA ACIfA

External description (plates M-01 - M-08; figures M-01 and M-02)

Unit 12 of Cleifiog Fawr is centred on NGR SH 29603 80128. It is a single-storey rectangular farm building orientated east to west. The structure would have had a double-pitched roof but this has entirely collapsed. The walls are of rubble masonry bonded by mortar.

The northern elevation has a centralised double doorway with stone lintel but without door and frame. There are two further single doorways at the right and left ends, the right of which has a stone lintel but again without door and frame, and the left of which has mostly collapsed.

The western elevation has a large centralised window opening with stone lintel and wooden frame but without glass. The southern elevation is featureless aside from a change in the rubble masonry showing that the majority of the centre and left end has been rebuilt in the past.

The eastern elevation has a single window opening in the eaves with stone lintel but now boarded up.

Internal description (plates M-09 - M-10; figures M-01 and M-02)

Barn

A rectangular room measuring 10.6m in length by 4.6m in width, orientated east to west. The ceiling has entirely collapsed in and is open to the sky, and the walls are all of exposed rubble bonded by mortar.

The northern elevation has a centralised double doorway opening with stone lintel, as well as two single doorway opening at the right and left ends, the left of which has also has a stone lintel, the right of which has mostly collapsed.

The eastern elevation has a single window opening at eaves height with unpainted wooden frame and boarded up. The southern elevation is featureless.

The western elevation has a large centralised window opening with stone lintel and wooden frame but without glass.

The floor is of loose soil.



Plate M-01: Cleifiog Fawr Unit 12, from the north. Scale 1.0m.



Plate M-02: Cleifiog Fawr Unit 12, from the northeast. Scale 1.0m.



Plate M-03: Cleifiog Fawr Unit 12, from the east. Scale 1.0m.



Plate M-04: Cleifiog Fawr Unit 12, from the southeast. Scale 1.0m.



Plate M-05: Cleifiog Fawr Unit 12, from the south. Scale 1.0m.



Plate M-06: Cleifiog Fawr Unit 12, from the southwest. Scale 1.0m.



Plate M-07: Cleifiog Fawr Unit 12, from the west. Scale 1.0m.



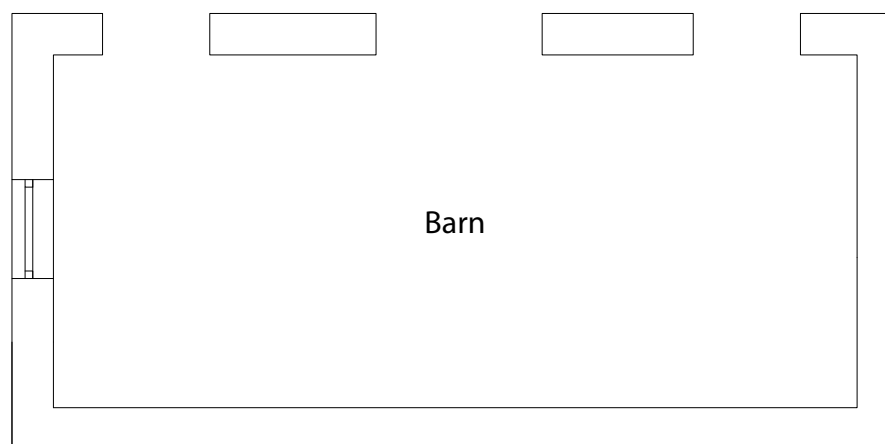
Plate M-08: Cleifiog Fawr Unit 12, from the northwest. Scale 1.0m.

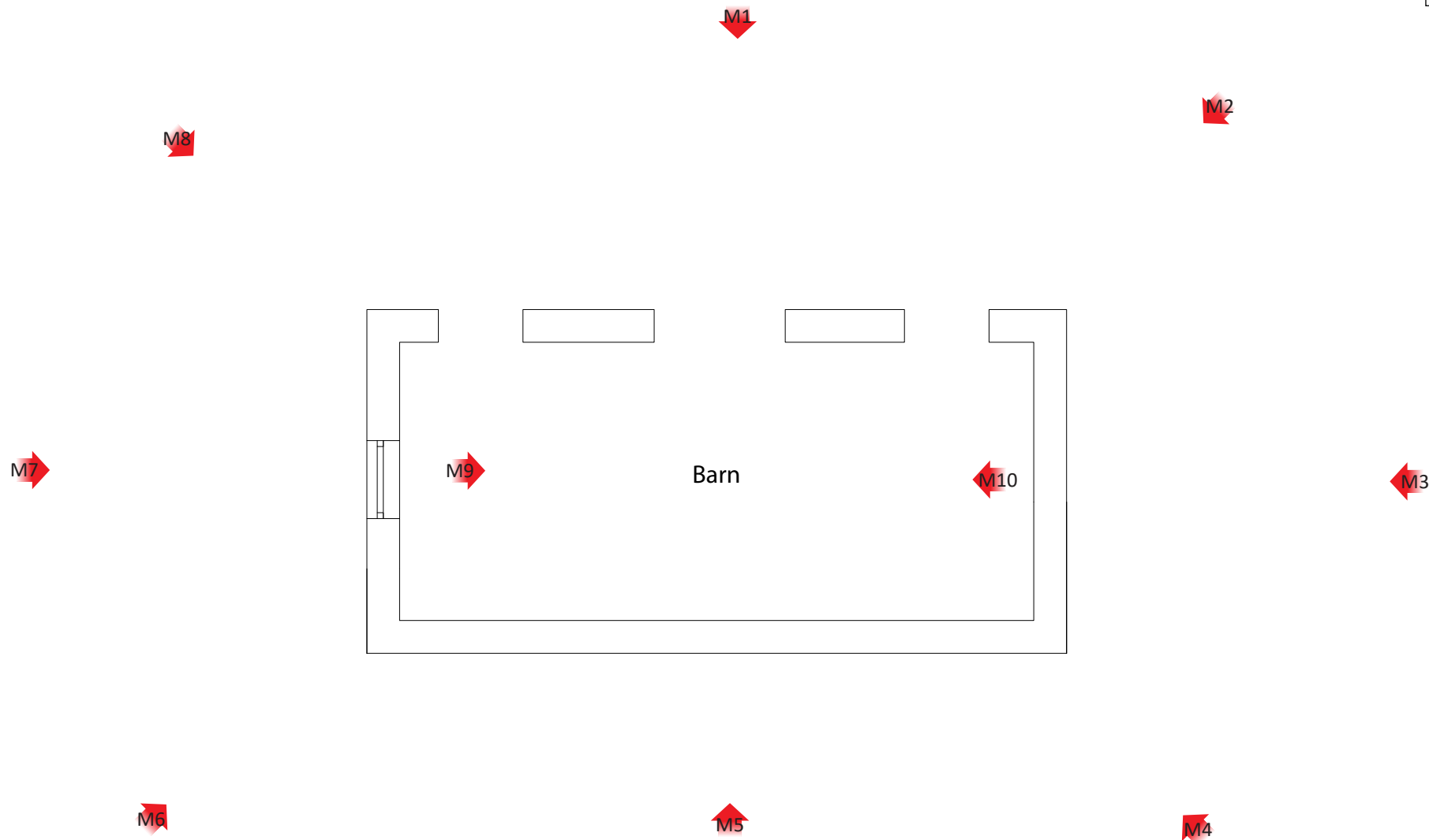


Plate M-09: Cleifiog Fawr Unit 12 Barn, from the west. Scale 1.0m.



Plate M-10: Cleifiog Fawr Unit 12 Barn, from the east. Scale 1.0m.





APPENDIX XIII. Written Scheme of Investigation for Level 2/3 Building Record



**Cleifiog Fawr, Gorad Road, Valley,
Isle of Anglesey, LL65 3BG.**

**Written Scheme of Investigation
for Level 2/3 Historic Building Record
and Photographic Record.**

**Planning Ref: 49C289A/LB
to 49C289H/LB**

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1.0 PROJECT BACKGROUND

Aeon Archaeology has been asked by Sylfaen Associates to provide a Written Scheme of Investigation (WSI) for carrying out a detailed (level 2/3) and a photographic historic building record of the property known as Cleifiog Fawr, Gorad Road, Valley, Isle of Anglesey LL65 3BG (centred on **NGR SH 29590 80200**) in advance of refurbishment.

The farm comprises a grade II Listed farmhouse (LB ref. 19234) with adjoining ancillary accommodation and a number of agricultural buildings of various dates, partly forming a small farmyard, with outlying detached structures.

The archaeological mitigation is being completed as part of Listed Building consent (Planning Reference: **49C289A/LB to 49C289H/LB**).

The Gwynedd Archaeological Planning Service (GAPS) prepared a mitigation brief for this project in October 2016 which requested the following mitigatory response:

A detailed (level 2/3) building record of:

- 1. Grade II listed principal (western) range, comprising farmhouse, cartshed/granary and cowshed (units 1-3)*
- 2. Ruined barn east of the farmhouse (unit 12)*
- 3. Range to the south-west, including former forge (unit 8)*

A photographic record of:

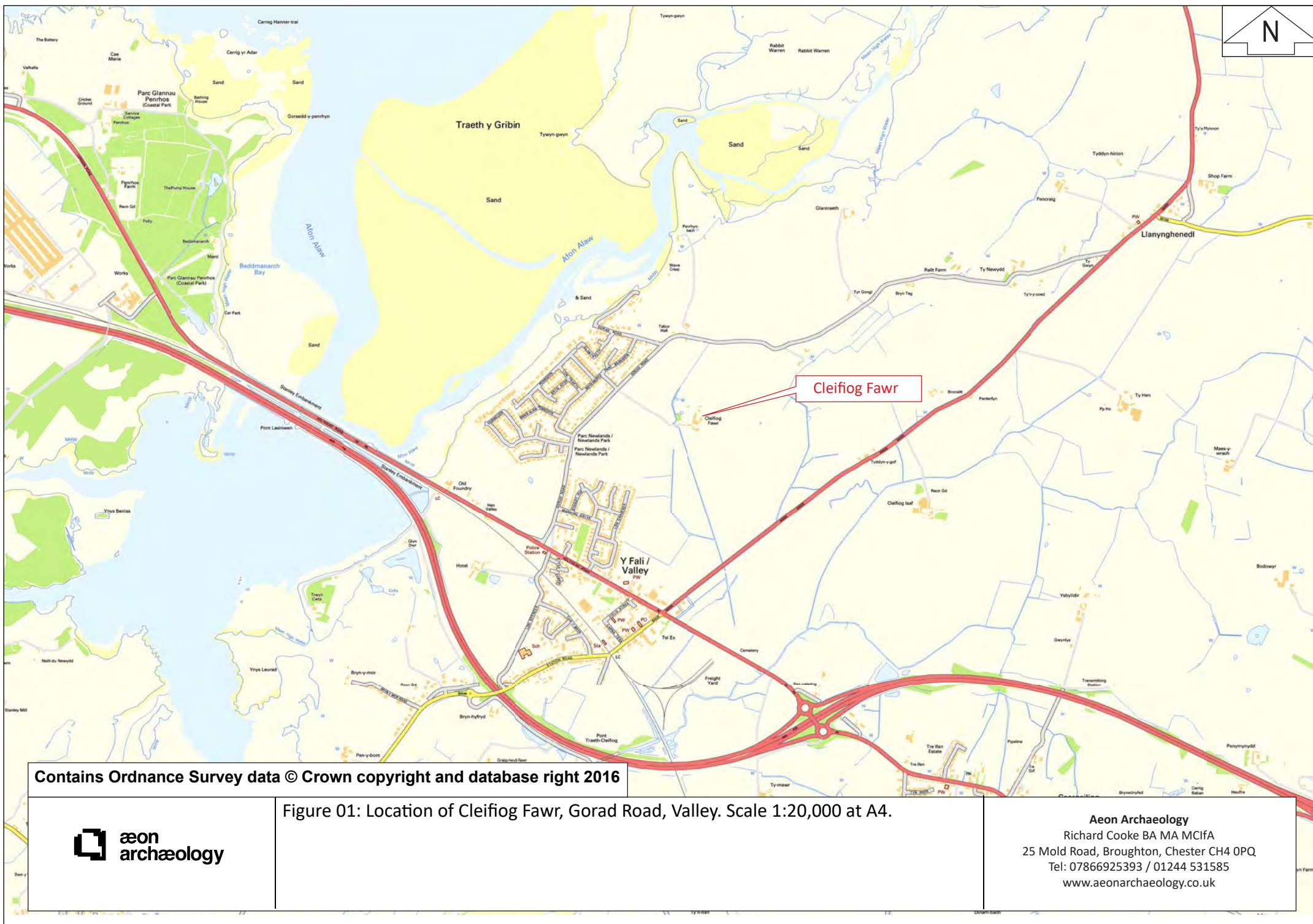
- 1. Remaining buildings (units 4-7, 9-11)*

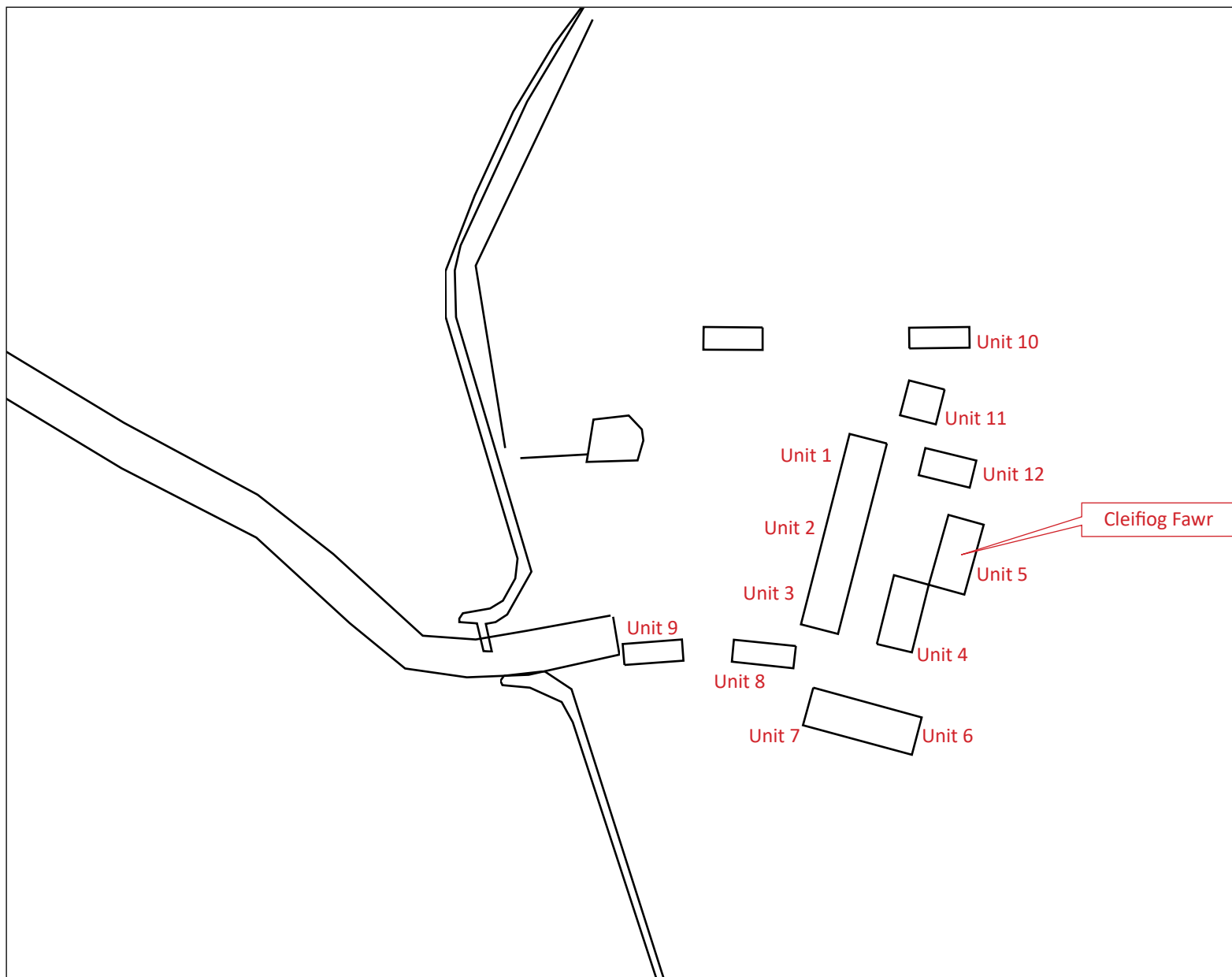
Cleifiog Fawr farmhouse is Grade II listed as an example of an early 19th century vernacular farmhouse, retaining much character and many original features (Cadw ref. 19234). It is thought to have been built following the acquisition of property locally by the Baron Hill estate, although records of a farm of this name (as distinct from the nearby Cleifiog Uchaf and Cleifiog Isaf) exist from 1730-40, suggesting a potential for earlier origins to the present structures. A longer history to the farmstead is also suggested by a possible field system recorded on the regional Historic Environment Record south of the farm buildings, identified from an aerial photograph and tentatively dated to the 16th/17th century (PRN 60802).

Historic maps indicate the establishment of the principal range by the publication of the tithe map, with a small ancillary structure to the north-east and south-west, with additions made initially on a seemingly ad hoc, small scale later in the 19th century, and the majority of larger buildings constructed (possibly as a single phase) by the 3rd edition Ordnance Survey map of 1925. While the earlier buildings have individual interest as vernacular farm buildings typical of the region and period, the later additions also have group value by contributing to the history and character of the farmstead, and providing context for the listed farmhouse.

The Royal Commission on the Ancient and Historical Monuments of Wales holds a copy of the drawings submitted with the planning application (NPRN 414072; catalogue ref. C6173552) but is not believed to have carried out any additional recording, and the site is not known to have been previously subject to archaeological study (GAPS. Ref. D1264).

This design and all subsequent mitigation will conform to the guidelines specified in English Heritage '*Understanding Historic Buildings: a guide to good recording practice*' (2006) & Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures (Chartered Institute for Archaeologists, 2014).





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Figure 02: Location of Cleifiog Fawr, Gorad Road, Valley. Scale 1:1,500 at A4.

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2.0 REQUIREMENTS

2.1 Building Record

The requirements are for an archaeological building record of Cleifiog Fawr farmhouse, cartshed/granary and cowshed (units 1-3); ruined barn east of the farmhouse (unit 12); and the range to the southwest, including the former forge (unit 8) prior to alteration, however should observations or desk-based research suggest the potential for significant features to be encountered during the site clearance/ground work, the archaeological contractor should make arrangements to undertake any appropriate supplementary recording work during the development. The GAPS Archaeologist has requested that the building record be roughly commensurate with the English Heritage '*Understanding Historic Buildings: a guide to good recording practice*' (2006) **Level 2/3**.

Level 2/3 is an analytical record, and will comprise an introductory description followed by a systematic account of the building's origins, development and use. The record will include an account of the evidence on which the analysis has been based, allowing the validity of the record to be re-examined in detail. It will also include all drawn and photographic records that may be required to illustrate the building's appearance and structure and to support an historical analysis.

The information contained in the record will for the most part have been obtained through an examination of the building itself. If documentary sources are used they are likely to be those most readily accessible, such as historic Ordnance Survey maps, trade directories, and other published sources. The record will not normally discuss the building's broader stylistic or historical context and importance at any length.

The detailed photographic record will consist of English Heritage '*Understanding Historic Buildings: a guide to good recording practice*' (2006) elements:

- written account: 1-3, 5-9, 11, 13, 22, 23.
- drawings: 2, 7-9.
- photographs: 1, 2 and 4-8

The remaining units at Cleifiog Fawr (units 4-7, 9-11) will require a photographic record only.

4.0 METHOD STATEMENT

4.1 Level 2/3 Record

4.1.1 Written Account

The written account will include:

- The building's precise location as a National Grid Reference and address form;
- A note of any statutory designation and non-statutory designation;
- The date of the record, name(s) of the recorder(s) and archive location;
- A summary of the building's form, function, date, and sequence of development.
- An introduction, setting out the circumstances in which the record was made, its objectives, methods, scope and limitations, and any constraints which limited the achievement of objectives.
- Acknowledgements to all those who made significant contributions.

- A discussion of published sources relating to the building and its setting, an account of its history as given in published sources, an analysis of historic map evidence and a critical evaluation of previous records of the building, where they exist.
- An account of the building's overall form and its successive phases of development, together with the evidence supporting this analysis.
- An account of the past and present uses of the building and its parts, with the evidence for these interpretations.
- Any evidence for the former existence of demolished structures or removed plant associated with the building.
- Full bibliographic and other references.

4.1.2 Photographs

The photographic record will include:

- A general view or views of the building;
- The building's external appearance. Typically a series of oblique views will show all external elevations of the building and give an impression of its size and shape;
- The overall appearance of the principal rooms and circulation areas.
- Any internal or external detail.
- Any machinery or other plant, or evidence for its former existence.
- Any dates or other inscriptions.
- Any building contents or ephemera which have a significant bearing on the building's history.
- Copies of maps, drawings, views and photographs present in the building and illustrating its development or that of its site.

A Digital SLR (Canon 600D) set to maximum resolution will be used throughout.

4.1.3 Drawings

The drawn record will include:

- A site plan, typically at 1:500 or 1:1250, relating the building to other structures and to related topographical and landscape features.
- A measured site plan showing the location and orientation of photographs. This will label all room spaces and indicate any architectural features of note.
- Copies of earlier drawings throwing light on the building's history.

4.2 Processing data, illustration, report and archiving

Following completion of the record as outlined above, a report will be produced incorporating the following:

- A copy of the design brief and agreed specification
- A site location plan
- A plan illustrating the location and direction of photographs
- Basic background and relevant historical, descriptive or analytical detail
- A full bibliography of sources consulted
- Illustrations, including plans and photographs, will be incorporated within the report.

Note: The proposed development is to be implemented under a series of separate listed building consents. For the purposes of archaeological interpretation and archiving, and to avoid duplication of work, the archaeological mitigation results will be presented as a single report and archive. However,

in order to enable the condition for each listed building consent to be discharged individually, the photographic record for each building will be presented as a separate appendix to the report.

Each appendix will therefore include the following key information, to accompany the numbered photographs and photograph location plan:

- planning application reference
- site name and location
- date of record
- details of recorder
- primary report reference
- location of full archive

5.0 DISSEMINATION AND ARCHIVING

A full archive including plans, photographs, written material and any other material resulting from the project will be prepared. All plans, photographs and descriptions will be labelled, and cross-referenced, and lodged in an appropriate place within six months of the completion of the project.

Upon completion of the project copies of the report will be sent to the regional HER and GAPS Archaeologist, as well as being lodged with the Royal Commission on the Ancient and Historic Monuments in Wales (RCAHMW).

6.0 PERSONNEL

The work will be managed and undertaken by Richard Cooke BA MA MCIfA, Archaeological Contractor and Consultant at Aeon Archaeology. Full details of personnel involved, with *curricula vitae*, can be supplied upon request.

7.0 RESOURCES AND PROGRAMMING

It is intended to undertake the historic building recording in November 2016. A provisional target date for the completion of the project archive and the production of a project report is November 2016.

The historic building recording will be undertaken by a team of demonstrable competence provided by Aeon Archaeology, a Registered Organisation with the CIfA.

Performance Standards

Aeon Archaeology will undertake the historic building recording and operate in accordance with:

- The Chartered Institute for Archaeologists' *Code of Conduct* (2014 edition).
- The Chartered Institute for Archaeologists' *Code of Approved Practice for the Regulation of Contractual Arrangements in Field Archaeology* (2014 edition).
- The Chartered Institute for Archaeologists' *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* (2014 edition)
- The Historic England document *Understanding Historic Buildings A Guide to Good Recording Practice* (2016)
- The European Association of Archaeologists' *Principles of Conduct for Archaeologists Involved in Contract Archaeological Work* (1998).
- The Chartered Institute for Archaeologists' *Standard and Guidance for the Collection, Documentation, Conservation and Research of Archaeological Materials* (2014 edition).
- The Chartered Institute for Archaeologists' *Standard and Guidance for the Creation, Compilation, Transfer and Deposition of Archaeological Archives* (2014 edition)

8.0 MONITORING AND TIMING

The GAPS Archaeologist will monitor the historic building recording on behalf of the Council.

Reasonable access to the recording in-progress will be provided by Sylfaen Associates Ltd to the Senior Planning Officer (GAPS) in order to monitor the recording. A site tour will be provided to the GAPS Archaeologist as appropriate.

Aeon Archaeology will advise Sylfaen Associates Ltd and the GAPS Archaeologist immediately of any significant discoveries and provide regular reports of the recording works. Aeon Archaeology will ensure that any significant results recovered during the historic building recording are brought to the attention of Sylfaen Associates Ltd and the GAPS Archaeologist and will notify the relevant organisations as soon as is practicably possible, and certainly within 24 hours.

A consultation between Aeon Archaeology, Sylfaen Associates Ltd and the GAPS Archaeologist will be convened towards or at the conclusion of the historic building recording. The purpose of the consultation is to advise all parties on the manner in which the objectives of the project have been addressed and secure agreement that the on-site recording has been concluded to the satisfaction of the Council.

9.0 HEALTH AND SAFETY

All relevant certification will be obtained from Sylfaen Associates Ltd and/or its agents and contractors regarding Health and Safety prior to any site works and Aeon Archaeology will conform to arrangements for notification of entering and leaving the site.

Aeon Archaeology will comply with the *Health and Safety at Work Act* (1974), the *Standing Conference of Archaeology Unit Managers Health and Safety Manual* (1991), *Control of Substances Hazardous to Health (COSHH) Regulations* (2002), *Construction Design and Management (CDM) Regulations* (2007), *Management of Health and Safety at Work Regulations* (1999), the *Work at Height Regulations* (2005), the *Confined Spaces Regulations* (1997), the *Personal Protective Equipment at Work Regulations* (2002) and the Council for British Archaeology Handbook No. 6, *Safety in Archaeological Fieldwork* (1989).

While carrying out the historic building recording Aeon Archaeology will operate in accordance with all applicable Health and Safety Legislation. A Health and Safety Plan (including a Risk Assessment) for the historic building recording will be prepared by Aeon Archaeology and submitted to Sylfaen Associates Ltd before the historic building recording commences.

The archaeologist(s) will be provided with all necessary protective clothing and equipment.

The archaeologist will wear a safety helmet and reflective jacket/waistcoat at all times on site.

A First-Aid Kit and Accident Book will be kept on site at all times for the duration of the historic building recording.

10.0 INSURANCE

Liability Insurance – Insignia Underwriting Policy 347002

Employers' Liability: Limit of Indemnity £10m in any one occurrence

Public Liability: Limit of Indemnity £2m in any one occurrence

Legal Defence Costs (Health and Safety at Work Act): £250,000

The current period expires 07/09/17

Professional Indemnity Insurance – Insignia Underwriting Policy 347002

Limit of Indemnity £500,000 any one claim

The current period expires 07/09/17

11.0 CONFIDENTIALITY

Aeon Archaeology will treat as confidential all information obtained directly or indirectly from Sylfaen Associates Ltd in connection with the historic building recording and will not, without the prior consent of Sylfaen Associates Ltd, disclose any information relating to the project or publicise the project in any way.

12.0 SOURCES CONSULTED

Chartered Institute for Archaeologists, 2014: Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures

English Heritage: Understanding Historic Buildings: a guide to good recording practice (2006)

Gwynedd Archaeological Planning Service brief (ref. D1264)

Gwynedd Archaeological Planning Service Requirements for General Photographic Surveys of Buildings

Historic Environment Record online gateway (Archwilio)

